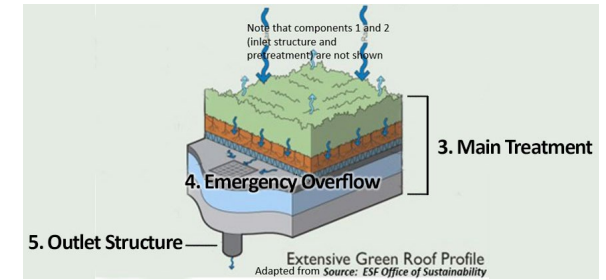


Green Roof Inspection Form

All items listed must be inspected unless Not Applicable (NA). Answering "Yes" indicates a need for maintenance. Please include an approximate repair date for items that require maintenance.

The maintenance and inspection frequency shall be done in accordance with this BMP Operation & Maintenance Plan. This checklist details these frequency periods, and submittal of the form (every other year) is a certification that you have met these requirements. This inspection shall be done once in every six-year period by a professional engineer (PE) or a professional landscape architect (PLA).



BMP Name(s)	Today's Date:				
	Date of Last Inspection:				
Note: The green roof name will be shown on the BMP location map included with the Stormwater BMP Record Drawing for this property. A typical name would be "Green Roof 1" or "Green Roof A". If this inspection form is being submitted for multiple BMPs of the same type, please list all applicable names.					
Property Info	Street Address:		City:	State:	Zip:
	Name (Owner, Tenant, Property Manager or Landscape Company):		Contact Name (If Different):		
Who is Inspecting the Green Roof?	Street Address (If conducted by a company, use company address):		City:	State:	Zip:
	Phone #:	Email:		Check one: <input type="checkbox"/> PE <input type="checkbox"/> PLA <input type="checkbox"/> No	
			License #:		
Who Owns the Green Roof?	Name (Person(s) or Company):		Contact Name (If Different):		
	Street Address:		City:	State:	Zip:
	Phone #:		Email:		

Reason for Follow Up?	Is a Follow Up Inspection by Staff Required? Check One: Yes No	Name of Staff Approving This Inspection Report:	Date of Inspection Approval:	This Section is for City of Topeka Use Only	
				Has the City Entered and Approved this Inspection? Yes No	

Submit completed forms to:

Email - stormwater@topeka.org

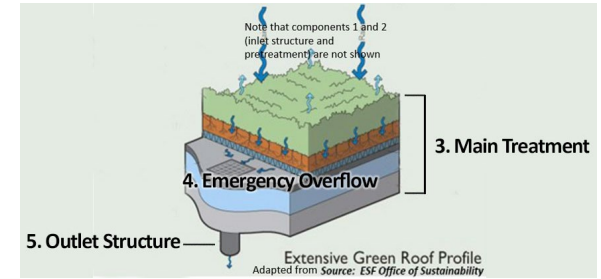
Mail - Stormwater Management Section • City of Topeka Utilities Department
215 SE 7th St • Topeka, Kansas 66603



Green Roof Inspection Form

All items listed must be inspected unless Not Applicable (NA). Answering “Yes” indicates a need for maintenance. Please include an approximate repair date for items that require maintenance.

The maintenance and inspection frequency shall be done in accordance with this BMP Operation & Maintenance Plan. This checklist details these frequency periods, and submittal of the form (every other year) is a certification that you have met these requirements. This inspection shall be done once in every six-year period by a professional engineer (PE) or a professional landscape architect (PLA).



Inspection Question	Answer			Describe Problem(s) and Solution(s)
	Y	N	NA	
Emergency Overflows & Outlet Structures (Components 4 & 5)				Success Factors: Vegetation, Protection, Two-Day Drain Time, and Cleanliness
1. Are trash, sediment, debris, grass clippings or other materials that can obstruct stormwater flow present near inlet structures outlet structures or emergency overflows?				
Guidance: Remove unwanted materials and correct any other problems that block the water flow. Standing water should not be observed in the planting area for more than 2 days. Schedule: Monthly				
2. Is water flowing from the outlet when it is not expected?				
Guidance: The green roof is designed to drain within 2 days after a rainfall. This may take longer during especially wet periods. In addition, if the irrigation system does not adjust to overly wet conditions, ponding may be exacerbated. During dry periods, an outlet that is discharging water or water ponding in the planting area may indicate a leak, blockage, or other issue. Determine the cause and correct it. If the cause cannot be determined, call a civil engineer or irrigation specialist for assistance. Schedule: Weekly				
3. Notice another problem? Describe in comments.	Your Comments:			

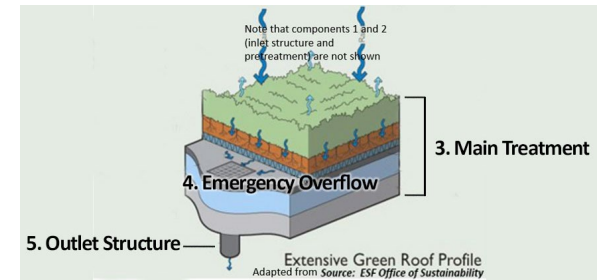
Submit completed forms to:
 Email - stormwater@topeka.org
 Mail - Stormwater Management Section • City of Topeka Utilities Department
 215 SE 7th St • Topeka, Kansas 66603



Green Roof Inspection Form

All items listed must be inspected unless Not Applicable (NA). Answering “Yes” indicates a need for maintenance. Please include an approximate repair date for items that require maintenance.

The maintenance and inspection frequency shall be done in accordance with this BMP Operation & Maintenance Plan. This checklist details these frequency periods, and submittal of the form (every other year) is a certification that you have met these requirements. This inspection shall be done once in every six-year period by a professional engineer (PE) or a professional landscape architect (PLA).



Inspection Question	Answer			Describe Problem(s) and Solution(s)
	Y	N	NA	
Main Treatment (Component 3)				Success Factors: Vegetation, Protection, Two-Day Drain Time, and Cleanliness
4. Is the soil media compacted or does the soil media have less than the proper depth?				
<p>Guidance: Visually check the condition and depth of the soil media. Replace with the appropriate soil media to maintain the depth required by the design. Typical depths for soil media vary by design but should be at least 2.5 inches. Soil loss is expected over time, through wind and water erosion. Foot traffic in the planting area can cause compaction of the soil. Loosen soils when replanting and put protection measures in place to prevent future foot traffic impacts.</p> <p>Schedule: Twice per year</p>				
5. Are main components such as irrigation system, downspouts and inlets, gutters, scuppers, and their associated mechanical components hard to access for operation, inspection and maintenance?				
<p>Guidance: Any obstacles blocking access to, or maintenance of, these components should be removed. Put a note in this form if access is blocked by a permanent fixture (e.g. fence) that is not easily removed.</p> <p>Schedule: Monthly</p>				
6. Is the vegetation unhealthy and/or and covering less than 90% of the planting area?				
<p>Guidance: Soil and plants work together to take up water and nutrients. Healthy plants have the proper coloring in leaves and often have vigorous growth. Yellowing leaves, spots on leaves, and wilted or stunted vegetation is often a sign of a problem. Obvious issues include a lack of water or planting the wrong plant for the location (soil moisture, sun exposure, temperature). If vegetation does not look healthy and water management is not the issue, take a soil test and amend the soils based upon the recommendations of the soil test. Do not apply nutrients without first doing a soil test, as over-fertilizing can cause stormwater pollution. Address the issue or replace the plant – with feedback from a nursery – so that the plants cover at least 90% of the planting area.</p> <p>Schedule: Monthly</p>				
7. Are there weeds growing in the planting area?				
<p>Guidance: Remove any weeds found in the green roof area and dispose of them. Weeds can out-compete other desirable plants by competing for water, nutrients, and sun. Remove weeds before they go to seed to prevent additional spreading.</p> <p>Schedule: Monthly</p>				

Submit completed forms to:

Email - stormwater@topeka.org

Mail - Stormwater Management Section • City of Topeka Utilities Department

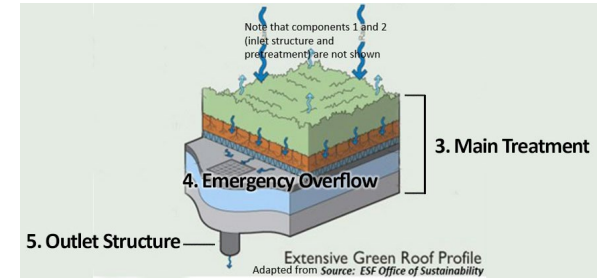
215 SE 7th St • Topeka, Kansas 66603



Green Roof Inspection Form

All items listed must be inspected unless Not Applicable (NA). Answering “Yes” indicates a need for maintenance. Please include an approximate repair date for items that require maintenance.

The maintenance and inspection frequency shall be done in accordance with this BMP Operation & Maintenance Plan. This checklist details these frequency periods, and submittal of the form (every other year) is a certification that you have met these requirements. This inspection shall be done once in every six-year period by a professional engineer (PE) or a professional landscape architect (PLA).



Inspection Question	Answer			Describe Problem(s) and Solution(s)
	Y	N	NA	
8. Are there dead or dying plants in the planting area?				
<p>Guidance: Remove dead, diseased or dying plants and replace them with appropriate plants. Consult a green roof specialist to find the best plants for the soil moisture, sun exposure, and heat expected on the roof. Schedule: Monthly</p>				
9. Is there evidence of water leaks under or around the structure of the green roof?				
<p>Guidance: Under the plants and soil is a waterproof membrane designed to keep water from seeping into other components of the roof structure. If this happens, water damage to the roofing structure can occur. Look for water spots, wetness on structural components outside of or under the green roof, and overly dry soils under normal rainfall conditions. If a leak is suspected, contact a qualified roofing company to perform an assessment. It may be that the waterproof membrane has been damaged and must be replaced. Schedule: Twice per year</p>				
10. Notice another problem? Describe in comments.	Your Comments:			

Submit completed forms to:

Email - stormwater@topeka.org

Mail - Stormwater Management Section • City of Topeka Utilities Department

215 SE 7th St • Topeka, Kansas 66603



Green Roof Inspection Form

Use this page for any notes, comments, or questions generated by your inspection. If you are using this page to continue your notes from a previous section, please include the section name and section number. You may also use this page to address issues not covered on the inspection form.

Submit completed forms to:
Email - stormwater@topeka.org
Mail - Stormwater Management Section • City of Topeka Utilities Department
215 SE 7th St • Topeka, Kansas 66603



Green Roof Inspection Form

Provide a photograph(s) of your BMP to document the compliance inspection to be submitted every other year.

Photograph Description:	Photograph Description:
Date Photograph Taken:	Date Photograph Taken:

Submit completed forms to:
Email - stormwater@topeka.org
Mail - Stormwater Management Section • City of Topeka Utilities Department
215 SE 7th St • Topeka, Kansas 66603

