

THE TOPEKA LANDMARKS COMMISSION MEETING

Meeting to be held via video conference

A G E N D A

Thursday, January 14, 2021

5:30 PM

- I. Roll Call
- II. Approval of Minutes – October 8, 2020
- III. Election of 2021 Landmarks Commission Officers
 1. Chair
 2. Vice Chair
- IV. Announcement of Potential Conflicts
 - I. CLGR20-25 by Sisters of Charity of Leavenworth Health System, Inc., seeking State Preservation Law Review under K.S.A. 75-2724 for the proposed demolition of the Menninger Tower building, located at 5800 SW 6th Avenue. The building is listed on the Register of Historic Kansas Places and the National Register of Historic Places.
 - II. Discussion and Comment on Pending National Register Nomination for Topeka's 20th Century Mid-Century Modern Multiple Property Documentation Form
 - III. Discussion and Comment on Pending National Register Nomination Form for Park Plaza Apartments, 1275 SW Fillmore Street
 - IV. Discussion and Comment on Pending National Register Nomination for HTK Office Building, 2900 SW MacVicar Avenue
 - V. Discussion and Comment on Pending National Register Nomination for Evergreen Apartments, 3311-3321 SW 10th Avenue
 - V. Nomination and Appointment of the members of the Landmarks Commission's Design Review Committee
- VI. Other Items (if any)
- VII. Adjournment



ADA Notice: For special accommodations for this event, please contact the Planning & Development Department at 785-368-3728 at least three working days in advance.

TOPEKA LANDMARKS COMMISSION MINUTES

Thursday, October 8, 2020
VIA ZOOM VIDEO CONFERENCE

Roll Call

Members Present: David Heit, (Chair), Dave Frederick, Donna Rae Pearson, Paul Post, Grant Sourk, Melina Stewart, Cassandra Taylor (7)

Members Absent: Mark Burenheide, Christine Steinkuehler (2)

Staff Present: Tim Paris, Dan Warner, Kris Wagers

Chairman David Heit called the meeting of the **Topeka Landmarks Commission** to order with seven members logged into the video conference.

Announcement of potential conflicts –

None

CLGR 20-18 by Don Phillippi, 1200 SW Taylor St., requesting State Preservation Law Review for the placement of an 8' privacy fence, and a 4' decorative faux wrought iron fence to enclose the front and rear yards of the property. This property is considered to be a "non-contributor" to the historic integrity of the Holliday Park National Historic District.

Mr. Paris presented the staff report and recommendation for approval, noting that the proposal does comply with City of Topeka fence regulations. The applicant was not logged in to speak.

Motion by Mr. Sourk for a finding that the proposed fences to be placed onto the property located at 1200 SW Taylor Street will not damage or destroy the historical integrity of the structure, or the surrounding Holliday Park National Historic District. **Second** by Ms. Taylor. **APPROVED 7-0-0**

Approval of Minutes from September 10, 2020

Motion by Mr. Post; **second** by Mr. Frederick. **APPROVED 7-0-0**

CLGR 20-19 by Gary Piland, 923-925 S. Kansas Avenue, requesting State Preservation Law Review for the renovation and conversion of the 2nd level of the building into a single loft apartment. This property is listed as a "non-contributor" to the historic integrity of the South Kansas Avenue Commercial Historic District.

Mr. Paris presented the staff report and recommendation for approval. He noted that Brian Falk was logged in representing the applicant, and Mr. Falk stated he had nothing to add to Mr. Paris's presentation. Also logged in were the property owners, Gary Piland and his wife, who stated that they are long time Topekans and excited to be moving downtown and investing in Topeka. They intend to move both their current businesses into the space and lease the bottom floor out to potentially 2 more businesses, thus adding a total of 4 businesses to the 900 block of Kansas.

Motion by Mr. Sourk for a finding that the interior alteration of the 2nd level of the building located at 923-925 S. Kansas Avenue will NOT damage or destroy the historical integrity of the structure, or the

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surrounding South Kansas Avenue Commercial Historic District. **Second** by Mr. Frederick. **APPROVED 7-0-0**

CLGR 20-20 by Gary Piland, 923-925 S. Kansas Avenue, requesting State Preservation Law Review for a partial rehabilitation of the 1st level of the interior of the building, and modification to the rear exterior wall. This property is listed as a “non-contributor” to the historic integrity of the South Kansas Avenue Commercial Historic District.

Mr. Paris presented the staff report and recommendation for approval and Mr. Falk stated he had nothing to add.

Ms. Pearson asked how much of the stone wall is being removed, and Mr. Paris explained that the concrete block will be opened up to reveal openings that existed in the past. Mr. Falk verified that the floor will be raised slightly to street level so cars don’t bottom out when pulling in. Ms. Pearson asked and Mr. Falk verified that the AC units will be relocated.

Based on an aerial photo, Mr. Sourk expressed concern about whether a vehicle would be able to maneuver in the amount of space available. When another photo was viewed from a different angle it showed that the configuration of the alley makes it easy to access the garage.

Motion by Mr. Sourk for a finding that the proposed interior and rear exterior alterations of the 1st-level of the building located at 923-925 S. Kansas Avenue will NOT damage or destroy the historical integrity of the structure, or the surrounding South Kansas Avenue Commercial Historic District. **Second** by Mr. Post. **APPROVED 7-0-0**

CLGR 20-21 by Gary Piland, 923-925 S. Kansas Avenue, requesting State Preservation Law Review for the removal of the front exterior façade. This property is listed as a “non-contributor” to the historic integrity of the South Kansas Avenue Commercial Historic District.

Mr. Paris presented the staff report, making note that the lower storefront will, at least for the time being, remain largely as it is. He also noted that the owners can’t be certain of what the façade looks like under the current panels, but indications are that the rendering on page 2 of the staff report is correct. He noted that what is currently there has no historic value, but what is beneath adds value to the building and could potentially restore the building’s status as a contributing property. Earlier Ms. Pearson had expressed concern that continuing to remove facades makes it impossible for them to gain any historic significance of their own, and Mr. Paris stated that while he understands that concern, he’s not certain it’s a concern in regard to the EIFS panels on this building. Mr. Paris concluded with his recommendation for approval.

Mr. Heit asked if the applicant would like to speak and Mr. Falk pointed out that currently it’s uncertain as to whether or not the cornice still exists but thinks it’s possible that it does.

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Motion by Mr. Post for a finding that the removal of the exterior east-facing façade of the building located at 923-925 S. Kansas Avenue, as proposed, will NOT damage or destroy the historical integrity of the structure, or the surrounding South Kansas Avenue Commercial Historic District. **Second** by Ms. Taylor.
APPROVED 6/1/0 with Ms. Pearson voting no.

Report on Selection of Consultants for Landmarks Commission 2020 Historic Preservation Fund Grant Projects

Mr. Paris reported that JLD Preservation will be doing the West Hills Neighborhood Survey. The Country Club Addition Survey will be done by Cox McLain Environmental Consulting based in Austin, TX. September 30, 2021 is the final completion date for both projects.

Adjourned at 6:26PM

**CERTIFIED LOCAL GOVERNMENT
CERTIFICATE OF APPROPRIATENESS
REVIEW REPORT
TOPEKA PLANNING DEPARTMENT**

CASE NO: CLGR20-25

by: Sisters of Charity of LHS, Inc.

<p>Project Address: Located within a 71 acre property located at 5800 SW 6th Avenue</p> <p>Property Classification: Listed on the <i>Register of Historic Kansas Places</i>, and the <i>National Register of Historic Places</i></p> <p>Standards: Secretary of the Interior's Standards for Rehabilitation</p> <p>Attachments: Site Plan <input type="checkbox"/> Elevations <input type="checkbox"/> Arch./Const. Plans <input type="checkbox"/> Pictures <input checked="" type="checkbox"/></p>
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PROPOSAL: The applicant is requesting State Preservation Law Review under K.S.A. 75-2724 for the proposed demolition of Menninger Tower building located at 5800 SW 6th Avenue. The Menninger Tower was listed on the Register of Historic Kansas Places and the National Register of Historic Places in 2005.

BACKGROUND: Historic information regarding the Menninger Tower can be found in the National Register Nomination. The building dates to 1925 with construction of the central block. The east and west wings were opened between 1925 and 1930. The building was listed under the name *Security Benefit Association Hospital*, with historic functions as *HEALTCARE/hospital*. The building's architectural style is noted as *Late 19th & Twentieth Century Revivals; Colonial Revival*.

The nomination describes details of the building. *The Tower Building is disposed symmetrically along perpendicular crossing axes. The primary axis is north to south and through the clock tower. The minor axis is east to west through the central block, with the tower offset to the south of this axis to abut the face of the central block. The total length is 230 feet and total width 130 feet. Four-story "hyphens" separate the central block from the large flanking wings placed perpendicular on the east and west sides.*

The structure throughout is reinforced concrete except the tower, which is steel frame and concrete floor slab. All walls and partitions are clay tile. The exterior face is English bond red brick. Cornices, first floor coursing, sills, headers, and such architectural details are limestone. Original wood windows remain



(with few exceptions), being 6/6 and 4/4 divided lite sashes.

The nomination also describes the building's historic significance. *The building exemplifies the Colonial Revival style as it was applied to institutional buildings in the decades between the two world wars. It deftly combines the bold concept of the skyscraper with the American colonial vernacular, as found in early America's premier landmark, Independence Hall.*

The Tower Building is striking to see on the rolling landscape surrounding Topeka, state capital of Kansas.



It is a noted architectural monument – one might say a wonder – of the Kansas landscape. The SBA Hospital bespeaks in the various architectural languages of past and present the times when it was built, straddling the post war twenties and the Great Depression. Few buildings from that era are more succinctly American.

The Topeka Landmarks Commission has been requested to conduct State Preservation Law Review to determine if the proposed demolition will damage or destroy the historic property.

REVIEW SUMMARY: The Kansas State Historic Preservation Office requires that all projects occurring on any property listed on the Register of Historic Kansas Places be reviewed for their affect on the listed property and the surrounding district. State law (K.S.A. 75-2724) establishes that the Secretary of the Interior's Standards for Rehabilitation be used to evaluate changes proposed to any property that is individually listed, or is located within an historic district. The following is an analysis of the application of each Standard to the proposed project.

Standard 1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Analysis: The proposed project requires the demolition of the Menninger Tower building that has occupied the property since 1925. There is no proposed new use for the property.

Standard 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Analysis: Demolition of the Menninger Tower building will remove its historic character.

Standard 3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

Analysis: This project will not introduce any features that will present a false sense of historical development. Demolition of the Menninger Tower building will remove its presence on the property.

Standard 4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

Analysis: The Menninger Tower building has been in use for its intended purpose as a hospital/office building since its original construction. Demolition will not retain or preserve any of the historically significant features of the building.

Standard 5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

Analysis: All distinctive features, finishes, and craftsmanship will be lost upon demolition of the Menninger Tower building.

Standard 6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

Analysis: Deteriorated historic features will be demolished and removed with no plan for repair or replacement.

Standard 7. *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

Analysis: N/A

Standard 8. *Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*

Analysis: Ground disturbing activities, such as demolition of a standing structure, may disturb undocumented historic resources buried in the adjacent soils.

Standard 9. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

Analysis: N/A

Standard 10. *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

Analysis: N/A

STAFF RECOMMENDATION: In light of these standards and the preceding analysis, Planning Staff recommends to the Topeka Landmarks Commission a finding that the proposed demolition of the Menninger Tower building located at 5800 SW 6th Avenue **will damage or destroy the historic property.**

APPEAL TO THE GOVERNING BODY: If the Landmarks Commission determines that the proposed treatment will damage or destroy the historic property, the applicant may appeal to the governing body. It will be incumbent upon the governing body to make a determination, after consideration of all relevant factors, that: (1) there is no feasible and prudent alternative to the demolition of the building; and (2) that the program includes all possible planning to minimize harm to such historic property resulting from the demolition.

Prepared by: Dan Warner, AICP, Planning Division Director



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December 7, 2020

SENT VIA EMAIL ONLY

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Timothy S. Paris
Preservation Planner II
City of Topeka Planning Department

Re: Sisters of Charity of Leavenworth Health System, Inc.
Application for Demolition Permit of the Menninger Clock Tower
Pre-Application Meeting

Mr. Paris:

I am counsel for the Sisters of Charity of Leavenworth Health System, Inc. ("SCL Health"). This letter is in anticipation of the Pre-Application Meeting currently scheduled for Tuesday, December 8, 2020, regarding the demolition of the Menninger Clock Tower building. Please feel free to contact me if you have questions or would like to discuss this matter before the meeting.

General Background

As I am sure you are aware, SCL Health owned and operated St. Francis Hospital in Topeka. Through a series of purchase contracts, in 2007 SCL Health completed the purchase of approximately 132.85 acres of what is historically referred to as the Menninger Campus. As a part of these real estate purchases, SCL Health became the owner of what is commonly referred to as the Clock Tower building. By the time SCL Health purchased the Clock Tower building in 2007, the property, and in particular the Clock Tower building, had been vacant for several years. The Menninger Clinic, who used to operate from the Clock Tower building closed the psychiatric hospital in the early 2000's, and by 2003 the Menninger Clinic relocated to Houston, TX. During the time of its vacancy, the property had been left to deteriorate and was vandalized and damaged. At the time of SCL Health's purchase, it was the hope of SCL Health that it could include the Clock Tower building in its overall plan to create a new medical complex on the Menninger Campus property.

Unfortunately, in 2017 SCL Health was unable to sustain its operation of St. Francis Hospital, and the St. Francis Health Center/Hospital was sold to Topeka Hospital, a joint venture between the University of Kansas and Ardent Health Services. As a part of the sale of the hospital, restrictions on SCL Health's use of the Menninger Campus were required. Those restrictions prohibited the use of the Menninger Campus for medical services.

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DECEASED
NATHAN D. LEADSTROM (1976-2020)
ROBERT E. EDMONDS (1932-2001)

¹ALSO ADMITTED IN MO
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When SCL Health purchased the Menninger Campus property, SCL Health knew the Clock Tower Building was listed on both State and National Registry's of Historic Places. SCL Health had hoped it could preserve the Clock Tower building and make it an integral part of its development of the property. Accordingly, SCL Health expended considerable sums to secure the building, including closing the building, securing its exterior points of entry, fencing around the building, and paying for security and property management of the building. SCL Health also expended significant funds to maintain the Clock Tower building, but the years of deterioration and damage to the property before SCL Health purchased it had taken its toll on the nearly 100-year-old building. As the financial difficulties of operating St. Francis Hospital continued after SCL Health purchased the Menninger Campus property, SCL Health was not able to see its desires for use of the Clock Tower building come to fruition.

Now, costs to simply stabilize the Clock Tower building exceed its value, and the costs to repair the structure, replace outdated and broken systems within the building, and renovate the property to a point it can be used far exceed the value of the property. This has made it impossible for SCL Health to even give the property away. Accordingly, there is no feasible or prudent alternative to demolition of the Clock Tower building.

Current Building Condition

The Clock Tower building was constructed in 1925. As previously stated, the building remained empty for several years before SCL Health purchased it in 2007. For ten years SCL Health paid to secure the building at an average annual cost of approximately \$200,000.00. In 2017, when SCL Health sold St. Francis Hospital, it began to evaluate the Clock Tower building condition to determine how the building may be maintained and potentially used or sold. Around 2017 a stone from the top area of the Clock Tower had fallen from the tower and through the roof of the building. SCL Health paid \$147,000.00 in 2017 for completion of an Emergency Stabilization Project of the Clock Tower that included stabilization of the structure to prevent further significant deterioration, making the building envelope weather tight, and to better secure the facility from entry and vandalism.

SCL Health engaged two engineering firms, TreanorHL and Bartlett & West to inspect the building structure. In May 2017, Bartlett & West issued a report after observing the condition of the stone around the top of the Clock Tower. (See Ex. 1, Bartlett & West Report dated May 16, 2017). In the report Bartlett & West engineers noted that "[t]he cornice stone is in a failed condition and at present poses a life safety hazard...." Following are photographs taken by Bartlett & West and made a part of its May 16, 2017 report, which show the then condition of the stone at the top of the tower:



While SCL Health made appropriate repairs to minimize safety hazards, the overall condition of the building requires much more investment and stabilization. The dislodging of stone at the top of the tower is indicative of the overall condition of the building after nearly 100 years.

In July 2017, Bartlett & West made a more thorough inspection of the Clock Tower building, in which it provided an estimate of the cost for “short term weatherproofing” of the building. (See Ex. 2, Bartlett & West Report dated July 18, 2017). In this report, Bartlett & West stated,

It is our recommendation that the tower should be 100% repointed from approximately 40’ above grade to the top. The remainder of the structure should have random open mortar joints repointed. The flashing at the base of the dome requires repair. It is in a failed condition as is the flashing at the 9th level of the tower. Several limestone cornice stones at the corners of the tower are loose and moving out. They should be relayed. Miscellaneous failed sealant should be removed and replaced.

Bartlett & West’s estimated cost for these repairs at that time was \$204,000.00. (Ex. 2).

For three days in August 2017, Bartlett & West and TrainorHL conducted additional inspections of the Clock Tower building, at SCL Health’s request and expense. On September 18, 2017 TreanorHL submitted a report regarding the more extensive inspection (See Ex. 3, TreanorHL report dated September 18, 2017), and then provided a “Menninger Tower Stabilization” detail (See Ex. 4, Menninger Tower Stabilization). These reports provided information regarding the condition of the Clock Tower building and made recommendations for simply stabilizing the building. The estimated costs to stabilize the building ranged from \$1,380,000.00 to \$1,680,000.00, based on bids from contractors and discussions with the engineers.

It is important to note that the costs for recommendations noted in the Bartlett & West and TreanorHL report are to just stabilize the building. These costs would not put the building into any sort of usable condition.

The interior of the building has likewise deteriorated due to vacancy and vandalism. The old HVAC systems in the structure would have to be totally removed and new HVAC systems installed. Additionally, the entire electrical system and extensive portions of the plumbing system

would have to be replaced just to get the building functional. These would be in addition to necessary renovations for the property to be usable. Although the costs to replace these systems and to make necessary renovations have not been put to bid, the estimated costs would near \$10,000,000.00. This amount would be in addition to the \$1.6 million to stabilize the building.

Renovation of the building interior is also problematic due to the current floor plan and construction of the building in 1925. Room sizes for a hospital facility in 1925 are not conducive to current office sizes. There are no handicap accessible facilities within the building. Much of the building consists of oversized hallways compared to room sizes, as was common for 1925 hospital facilities, and significant common areas. Of the nearly 70,000 square feet of building space, Randy Goldsmith, now with K1 Realty, estimates there would be approximately 45,000 square feet of leasable space in the building after renovations are completed. (See Ex. 5, Letter from Randy Goldsmith dated November 30, 2020¹). The leasable space constitutes approximately 64% of the total building space. The remaining 36% of building space would have to be maintained and serviced by the building owner.

Marketing To Date

Since 2018, SCL Health has made all reasonable attempts to market the Clock Tower building to any and all individuals who may be interested. SCL Health retained the services of the international real estate firm, CBRE, and has worked with Randy Goldsmith, formerly with CBRE and now with K1 Realty, to market the property and attempt to find any person or entity interested in taking the Clock Tower building. In addition to working with CBRE, SCL Health has reached out to numerous individuals and organizations in Topeka who may be interested in or may know someone who may be interested in purchasing or receiving a donation of the Clock Tower building. To date there have been no interested parties who are willing to take on the Clock Tower building.

Understanding the current condition of the building and the significance of the building to Topeka, SCL Health has been and still is willing to donate the building to someone who is willing to preserve the building. This includes the City of Topeka. Earlier this year SCL Health offered to give the Clock Tower building to the City. In July, the City declined the donation stating budgetary constraints considering the expenses required to maintain the building.

SCL Health remains willing to donate the property to any reasonably appropriate party. Yet, the recurring response by potential recipients of the gift has been the costs that would have to be incurred to stabilize, rehabilitate, and renovate the property into a useable building. While SCL Health could expend even more funds in attempting to market the Clock Tower building and further delay the inevitable, the costs associated with taking the building on will only lead to the same result because the costs make the stabilizing and renovation of the building unfeasible. Accordingly, there is no feasible or prudent alternative to demolition of the Clock Tower building.

¹ Randy Goldsmith was previously with CBRE, Inc., a national real estate company, and Mr. Goldsmith has managed and marketed the property.

Financial Considerations

The condition of the building, inside and out, the costs to stabilize the building, and the repair and renovation costs in the interior of the building in relation to the value of the building make it unfeasible to do anything other than to demolish the building. In 2007 when SCL Health purchased the Clock Tower building with 4.65 surrounding acres the sale price was \$1,550,000.00. This is \$135,000.00 less than the estimated costs to stabilize the building. SCL Health would be ecstatic if the Clock Tower building, in its current state, was valued at \$1,550,000.00. Unfortunately, the building is not worth this amount. The County Appraisal values the building at \$300,570.00. (See Ex. 6, SNCAMA Property Record Card). This means to simply stabilize the building SCL Health would have to invest \$1,379,430.00 more than the building is valued by the County Appraiser. This is the reason SCL Health has found no one willing to accept a donation of the building.

The feasibility of preserving the building and attempting to get it into a position of sustaining itself financially is insurmountable and unrealistic. If, hypothetically speaking, SCL Health was willing to find a recipient of the donation of the building, the recipient would have to invest so much money in the building to get it to a usable condition that no one is willing to take it on. Conservatively, a donation recipient would have to invest \$7,000,000.00 to stabilize the building, repair and/or replace all internal building systems, and make appropriate renovations for the building to be marketable. Randy Goldsmith estimates 45,000 square feet of the building could be leased from \$4.00 to \$5.50 a square foot. (Ex. 5). Using the highest possible lease value, the building could return an annual income of \$247,500.00 (45,000sf x \$5.50) gross. Conservatively calculating a mortgage or value of money on the \$7,000,000.00 investment over 20 years at just 3% interest would require an annual payment totaling \$465,861.96. This nets an annual loss of \$218,361.96. If the donation recipient were going to use annual gross lease income to pay off the \$7,000,000.00 investment and only a 2% interest is used in the calculation, it would take 42 years to recoup the investment. No reasonable investor would deem 42 years before investment is recouped to be a reasonable or feasible investment, and SCL Health's inability to find any such investor is evidence of this reality.

Best Use

Unfortunately, the Clock Tower building is simply a liability that no one is willing to take on, despite the historic presence and community relationship with the building. Rather than having a building crumbling from over three stories in the air, the best use of the property is to demolish the building and make the land suitable for development. The County appraises the land value with the building to be \$3,155,660.00. This land value would surely increase if the liability of the Clock Tower were removed. The surrounding area has seen recent development, including the \$36,000,000.00 construction of the Federal Home Loan Bank of Topeka building in 2018, and the rehabilitation of other Menninger Property buildings by the Sunflower Foundation. For The Sunflower Foundation to rehabilitate the old Menninger power plant buildings, the buildings had

to be taken down to the brick façade, and the cost of doing so cost \$10 million in a loan from the City of Topeka financed with industrial revenue bonds. (See Sunflower Foundation makes way on Menninger Hill development | KSNT News). Even if the Clock Tower brick façade would remain standing through such a project, which is doubtful, the cost of undertaking a construction project similar to The Sunflower Project would be many times more than \$10 million due to the size of the Clock Tower building.

For a number of years, the property surrounding the Menninger campus has been developed with the City's approval and presumed support. The River Hill subdivision and River Hill Residential subdivision provides a mixed use of property to the west of the Menninger Foundation subdivision, and the recent construction of The Federal Home Loan Bank and the Sunflower Foundation properties on the Menninger campus are indicative of new and vibrant development in the area. South of the Menninger campus Security Benefit has built its large office complex, and the Cedar Crest Office Park subdivision has seen recent new commercial construction. Areas surrounding the Menninger campus and the campus itself have seen new development for some time, and the area on which the Clock Tower building sits could, likewise, see significant new development if the anchor of the Clock Tower building was not weighing down the development potential. Therefore, the best use of the Menninger property where the Clock Tower building sits is to clear the land of the building so new development may occur.

Legal Analysis

Kansas statute requires a governing body to consider all relevant factors, and to find that there is no feasible and prudent alternative to a proposal to demolish a historic property like the Clock Tower building. See K.S.A. 75-2724(a)(1). In this instance, there is no feasible or prudent alternative to demolishing the Clock Tower building, as is clearly shown above. In determining whether there is a feasible or prudent alternative, a governing body must "take a hard look" at all relevant factors, and use "plain common sense" when making its decision. *Friends of Bethany Place, Inc. v. City of Topeka*, 297 Kan. 1112 (2013). In doing so, the governing body does not need to consider alternatives to the proposed plans that "cannot be reasonably ascertained, and whose implementation is deemed remote and speculative." *Id.* Nor does a governing body need to "consider in detail each and every conceivable variation" of alternatives. *Id.* In other words, the City of Topeka needs to use common sense when deciding whether or not the demolition permit SCL Health seeks is appropriate, and the City does not need to consider every idea that may be conceived by someone to preserve the building when those ideas are remote and speculative.

While SCL Health would like to see the Clock Tower preserved, and is even willing to donate the building to someone, it is simply not feasible or prudent to continue to invest the amount of money required to preserve the building. SCL Health understands the desire of individuals in the community to want to preserve the building, and therefore to come up with a myriad of ideas as to what could be done with the building. SCL Health is not deaf to the comments made and petitions started by individuals in the community who want to preserve the building, but desire and unattainable ideas are not actual alternatives that the City should or legally can consider. "The

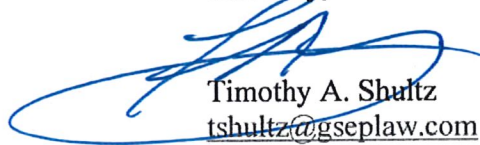
phrase 'feasible and prudent alternative' is defined as 'an alternative solution that can be *reasonably accomplished and that is sensible and realistic*'. K.A.R. 118-3-1(e)." *Id.* (italics added). There is just no alternative to demolition of the Clock Tower building that is sensible or realistic. Accordingly, the demolition permit sought by SCL Health in relation to the Clock Tower building should be granted.

Conclusion

Again, SCL Health would like to see the Clock Tower building preserved, but that is not a sensible or realistic option when all factors are considered. The condition of the building after nearly 100 years is such that the cost of preserving the building is not feasible or prudent. The only reasonable alternative is demolition of the building and to allow the Menninger campus property to be developed so the property can continue to be a vital part of the City of Topeka.

I appreciate your time and consideration. Please do not hesitate to contact me if you have questions or would like to discuss this matter further.

Sincerely,



Timothy A. Shultz
tshultz@gseplaw.com

Encl.

EXHIBIT 1

Sisters of Charity of Leavenworth Health System, Inc.

Application for Demolition Permit

Pre-Application Meeting



544 Columbia Drive
Lawrence, KS 66049
ph (785) 749-9452
www.bartwest.com

May 16, 2017

Mr. Matt Dennon
St. Francis Health Center
1700 SW 7th Street
Topeka, Kansas 66606

RE: Tower Building – Structural Condition Study
Menninger Campus
Topeka, Kansas
Project No.: 19584.000

Dear Mr. Dennon:

At your request, Bartlett & West has performed visual observations of the Tower Building located on the Menninger Campus in Topeka, Kansas. The purpose of the study was to observe distress in a cornice stone located at the top of the lantern and at the bottom of the dome.

A site visit was made on May 9, 2017. Our observations were limited to areas of accessibility. Our study is based on our visual observations, conversation with you, and our knowledge and experience with structures of this type of construction, age and condition. No construction documents were available for review.

Exterior observations of the tower were made from a manlift and operated by TR Construction.

At the time of our site visit a cornice stone on the west side of the lantern was dislodged from the wall and rotating down (fig. 1). Figure 2 shows the stone from inside the lantern. In figure 1 note the crack in the bottom of the stone where the wall and the stone intersect. The top of the stone is shown from the inside of the dome in figure 3. Note the fracture in the stone. The stones bear on the multi-wythe brick walls of the lantern and cantilever out. The top of stone is held in place by a steel channel with its toes pointing up (fig. 4). The stones are anchored to the channel and the channel is attached to the structural steel frame of the dome. This stone appears to have fractured at the exterior face of the wall.

The cornice stone is in a failed condition and at present poses a life safety hazard as the stone could fall at any time. This structure is presently barricaded with a chain-link fence. It is our recommendation that this fence remain in place and that no one is allowed to enter the area.

If this stone were to fall it could cause a great deal of damage to the structure. Corrective measures should be made in the very near future. This can be done in several ways. One, by removing the dislodged piece of stone and waterproofing the area. Or two, by shoring the



Driving Community and Industry Forward, Together.

stone back in place and pinning it back together. Both if these options are work that should be done by a specialty contractor that does this type of restoration work. When doing this work the adjacent stone to the north of this stone should be investigated. As seen in figure 1 there appears to be a crack in the bottom of that stone as well. No distress was noted in this stone as the time of our observation.



fig. 1



fig. 2



fig. 3



fig. 4

Cursory observations of the tower were made from the manlift. Typical deterioration noted throughout was open stone and brick mortar joints, sealants in mortar joints, failed sealant, spalling stones faces and cracked brick and stone units. The most significant deterioration was taking place in the two stone bands above the arched windows. The corner stones have pushed out (fig. 5) and one stone is moved down slightly (fig. 6). This movement is probably



fig. 5

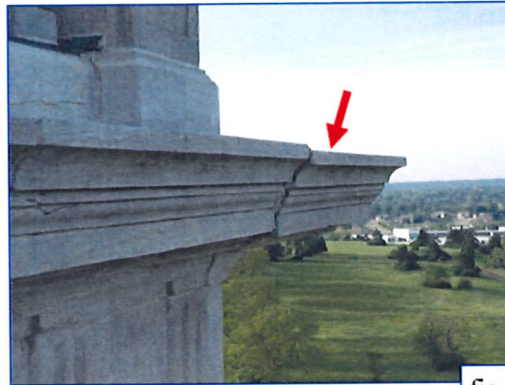


fig. 6

due to temperature movement and then the effect of freeze thaw. The deterioration noted above is a result of moisture infiltration due to the lack of maintenance over the years.

We would like to thank you for all your help in expediting our study. Please do not hesitate to contact us if you have any questions or if we can be further service to you on this matter.

Respectfully submitted,
BARTLETT & WEST, INC.


Shawn McGarity
Lead Project Engineer


Celeste Spickert
Sr. Project Engineer



EXHIBIT 2

Sisters of Charity of Leavenworth Health System, Inc.

Application for Demolition Permit

Pre-Application Meeting



544 Columbia Drive
Lawrence, KS 66049
ph (785) 749-9452
www.bartwest.com

July 18, 2017

Mr. Matt Dennon
St. Francis Health Center
1700 SW 7th Street
Topeka, Kansas 66606

RE: Tower Building
Menninger Campus
Topeka, Kansas
Project No. 19584.000

Dear Mr. Dennon:

At your request, Bartlett & West has performed a study to determine an opinion of probable cost for short term weatherproofing of the Tower Building located on the Menninger Campus in Topeka, Kansas. cursory observations were made of the exterior of the structure on July 10, 2017. Our observations were limited to areas of accessibility. Our study is based on our visual observations, our previous study of the Tower Dome, dated May 6, 2017, conversation with you, and our knowledge and experience with structures of this type of construction, age and condition. No construction documents were available for review.

Short term weatherproofing of this structure will require stabilization of the stone at the base of the dome and addressing areas of moisture penetrating into the structure. These areas include roofing, gutters (structure has internal gutters), flashing, open mortar joints, broken masonry units, failed sealant and open or unprotected doors and windows. It is our understanding that you are getting pricing for roofing and gutter repairs from a roofing contractor and pricing from Western Specialty Contractors for stabilization of the stone at the base of the dome.

It is our recommendation that the tower should be 100% repointed from approximately 40' above grade to the top. The remainder of the structure should have random open mortar joints repointed. The flashing at the base of the dome requires repair. It is in a failed condition as is the flashing at the 9th level of the tower. Several limestone cornice stones at the corners of the tower are loose and moving out. They should be relayed. Miscellaneous failed sealant should be removed and replaced. Many of the windows and doors have been boarded up but 118 remain uncovered. These window openings should be covered to prevent moisture penetration and resistance to vandalism. Some of these may be determined too high to be subject to vandalism and may not need protection if glass is intact.

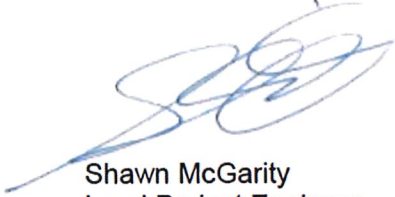
Our opinion that the probable cost for this work will be approximately \$204,000.00. Since the structure is on the State and National Register of Historic Places work efforts performed on this structure should be done in accordance with National Park Service Preservation Briefs.

We would like to thank you for all your help in expediting our study. If you have any questions or if we can be further service to you on this matter please do not hesitate to contact us.



Driving Community and Industry Forward, Together.

Respectfully submitted,
BARTLETT & WEST, INC.



Shawn McGarity
Lead Project Engineer



Celeste Spickert
Sr. Project Engineer



EXHIBIT 3

Sisters of Charity of Leavenworth Health System, Inc.

Application for Demolition Permit

Pre-Application Meeting



September 18, 2017

Mr. Christopher Wierda
Senior Project Manager, Planning & Construction
SCL Health System
500 Eldorado Blvd, Suite 4300
Broomfield, CO 80021

Re: Menninger Tower Stabilization – Assessment Summary and Recommendations

Dear Mr. Wierda:

TreanorHL and Barlett & West conducted a field assessment of the Menninger Tower Building located at 5800 SW 6th Street in Topeka, KS. The field assessment was conducted over three days, August 29, 30 and 31. The goal of the assessment was to identify conditions requiring immediate attention and develop a scope to stabilize the building. The goal of the stabilization is to prevent damage such as the recently failed cornice has caused and to slow the rate of deterioration. This work will protect the current investment in the building while it remains vacant.

OBSERVED CONDITIONS

Please refer to the illustrations included with the letter which identify locations and elements of the building along with recommended work.

The building is still quite sound structurally, but areas of cladding exhibit mild to severe distress. The building is reported to have minimal electricity and no other utilities. Windows have been boarded over as they are broken by vandals, but no venting has been installed. The perimeter fence appears to be keeping the building secure. But vegetation has overgrown the east face and the northwest courtyard.

Areas below the eave line at the top of the third floor are in fair condition with limited condition concerns. Windows below the eave line have generally been boarded over. Doors have been secured. Limited areas of failing masonry joints were noted at the top of belt courses and over the south-central entry door hood. Steel lintels are typical at all window openings and are in variable condition, most exhibit only surface corrosion and limited paint loss.

Above the eave lines the building exhibits more condition issues. Gutters have varying degrees of debris clogging them. All roof drains connections in gutters lack strainers and some strainers on the flat roofs have been removed. Gutters were observed to have standing water and building caretakers report certain areas are slow to drain, indicating that debris is clogging the drain. Roof drain lines run inside the building. While roofs are generally in good condition, the flat roof areas are beginning to show their age and some missing shingles were observed. Joints in the stone rakes on the east and west wings, and coping stones on parapets have failed.

Wooden roof dormers are deteriorated, missing paint and wood trim, some sills appear to be rotted. Chimneys all exhibit deteriorated mortar joints in brick work, in cap stones and at the base of all chimney pots. Copper flashing on the tops of two of the six chimneys are split open and allowing water into the masonry below.

Some windows above the eave line are open or missing panes of glass. While this condition allows some passive venting, it is also allowing pigeons and other pests to enter the building. The double height windows at the 5th and 6th floors are steel units set in a wood frame. The wood frame has deteriorated to the point that the steel window units do not appear to be entirely secure.

Masonry above the eave line is in fair to poor condition, particularly at the tower. All mortar joints in the stonework have been sealed. Sealing all mortar joints of mass masonry walls is not advisable as it prevents the mortar joints from drying the wall. This improper application of sealant hastens stone decay. Sealant and coatings applied to the tops of multiple cornices and projections have deteriorated and are allowing water into the wall assembly below. On the north, the amount of moisture present is enough to support tree growth.

Steel lintels at windows and under the architraves are corroded and lack paint. The corrosion is causing masonry cracking and allowing water into the wall assembly. Corrosion is evident at the steel framing and clock dial faces; two of the faces have wooden replacement hands that are deteriorated.

Several of the ornamental urns have vertical cracks running through the piece, placing them at risk for the loss of large amounts of material. Newels at the balustrade are tilted out and the copper flashing behind the balustrade is cracked and open in several locations. The 3rd and 5th cornices both have loose material and exhibit past losses. A portion of the 5th cornice, damaged by the failure at the 6th cornice is unstable. Brick above and below the 3rd cornice exhibits open mortar joints and failed repointing.

The original roof drain at the lantern observation deck level is clogged and the alternative drain that has been installed is not long enough to drain to the outside of the tower, it currently drains to the interior of the tower at the 9th floor. Surface corrosion and paint loss are evident at the steel columns at the lantern level. Railing anchors at the lantern level are corroding and causing masonry distress.

The stone immediately adjacent to the failed lantern cornice is also cracked parallel to the face of the wall, in roughly the same plane as the failed piece. The sealant termination of the dome sheet metal above has failed and is allowing water into the assembly. The roof hatch in the dome was not secured in the closed position and was allowing water to enter the enclosed upper portion of the dome.

RECOMMENDATIONS

With the understanding that SCL Health intends to sell the property, but currently does not have a buyer and does not anticipate finding one in the immediate future, we have developed the following recommendations which are aimed at securing the building for the next 5-10 years.

Periodic monitoring will continue to be necessary. Maintaining the landscaping in such a fashion as to prevent vines re-growing on the building will be necessary. Cleaning gutters and roof drains should be done twice annually. Preparing a maintenance and inspection check list to keep records of when work is performed or conditions change is also recommended. Monitoring humidity is recommended to determine whether venting is adequate or should be increased.

Immediate:

1. Removal of the remainder of the fallen cornice and the damaged lower cornice resulting from the falling stone. Our team has assisted in identifying suitable contractors to undertake this work and obtaining quotes for the work, as well as evaluating the submitted pricing.

Priority 1 – As soon as possible:

1. Remove vines growing on the building, clear undergrowth in the courtyards and thin trees in the northwest courtyard.
2. Clear debris from gutters and flat roofs; snake roof drains to clear them; install strainers on all roof drains in gutters and on flat roofs. Scope roof drains to identify defects and repair by lining the pipe.
3. Secure open windows and board over any missing glass at all levels/windows not already covered.
4. Paint 5th/6th floor wood window frame & secure steel window frames.
5. Replace missing shingles.
6. Secure loose wood at dormers, replace missing trim that closes off the cladding and paint. Install sheet metal covers over rotted sills.
7. Install passive venting; install vents in all window openings, open all interior doors, and remove walls closing off stairs at every stair on all levels.
8. Complete masonry, metal and sheet metal repairs noted in Priority 1 areas on elevations.

Items 1 through 7 are work items that TR Construction could likely complete with their own manpower or with limited sub-contractors. Item 8 includes work that needs to be completed by a specialty contractor with knowledge of masonry and/or sheet metal.

Priority 2 – Next 6 months to 1 year:

1. Replace deteriorated plywood over windows and paint remaining pieces, including all edges.
2. Paint windows (steel and wood) that are not covered.
3. Paint clock faces and interior attachments; remove wooden hands from dials.
4. Complete masonry and metal repairs noted in Priority 2 areas on elevations.

Items 1 and 2 are work items that TR Construction could complete with their own manpower. Items 3 and 4 would best be completed by a specialty contractor.

Priority 3 – Next 5-10 years:

1. Replace flat roofs (membrane and ballasted).
2. Replace shingle roofs.

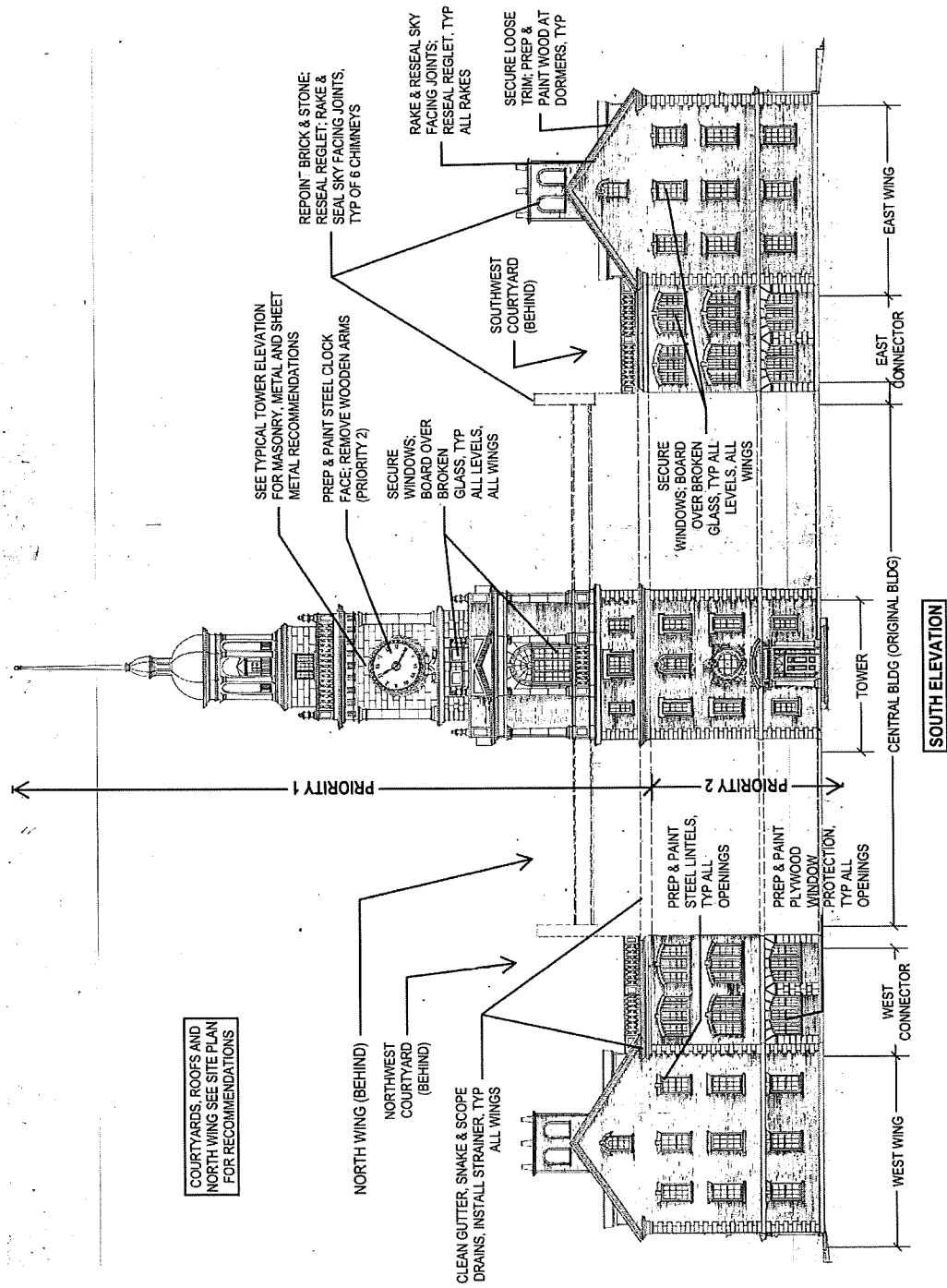
We recommend that construction documents be prepared for items in Priority 1 and Priority 2 for pricing. Priority 2 work should be broken out in the pricing from Priority 1 to allow for some options in scope reduction should budget for the current fiscal year be an issue.

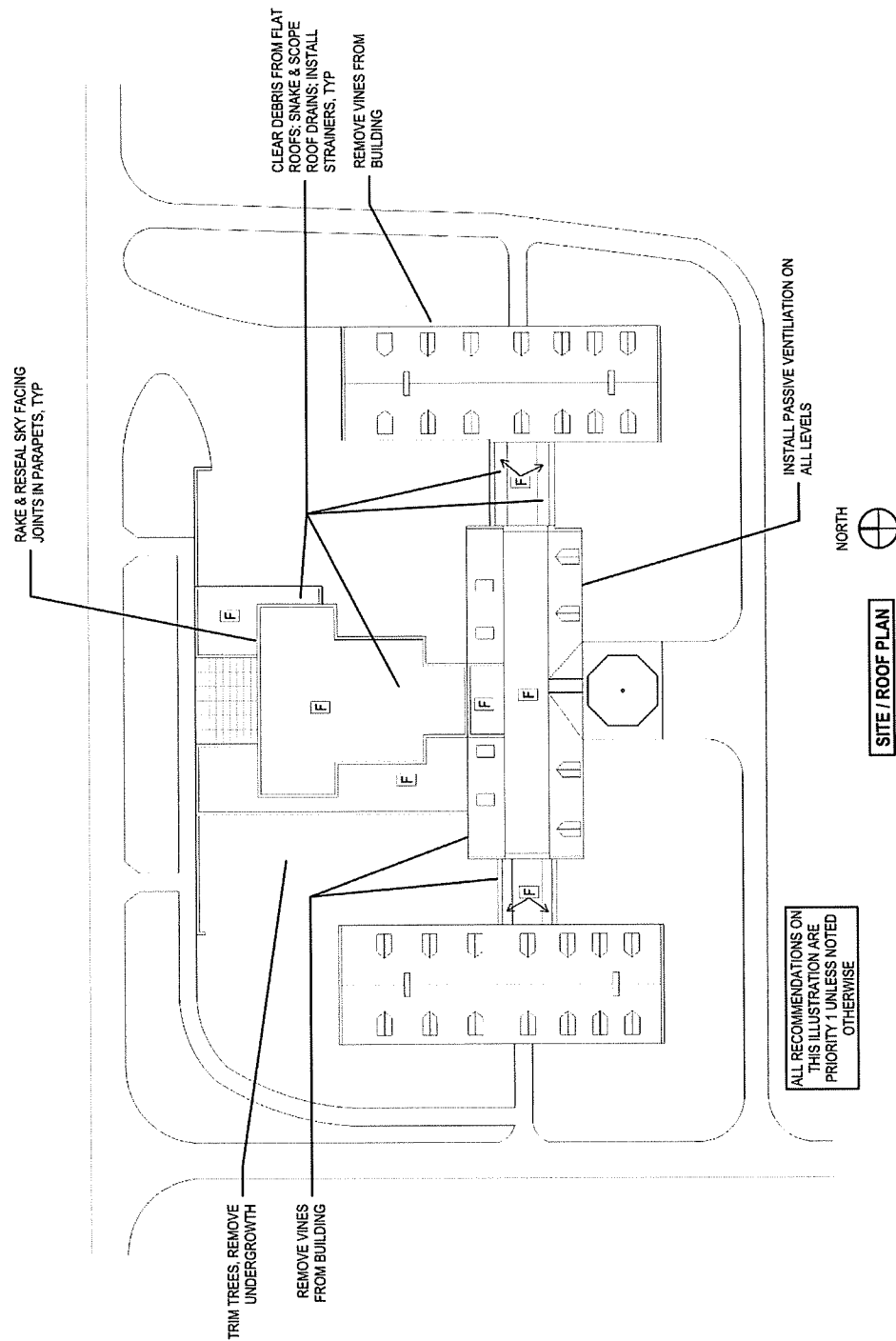
NEXT STEPS

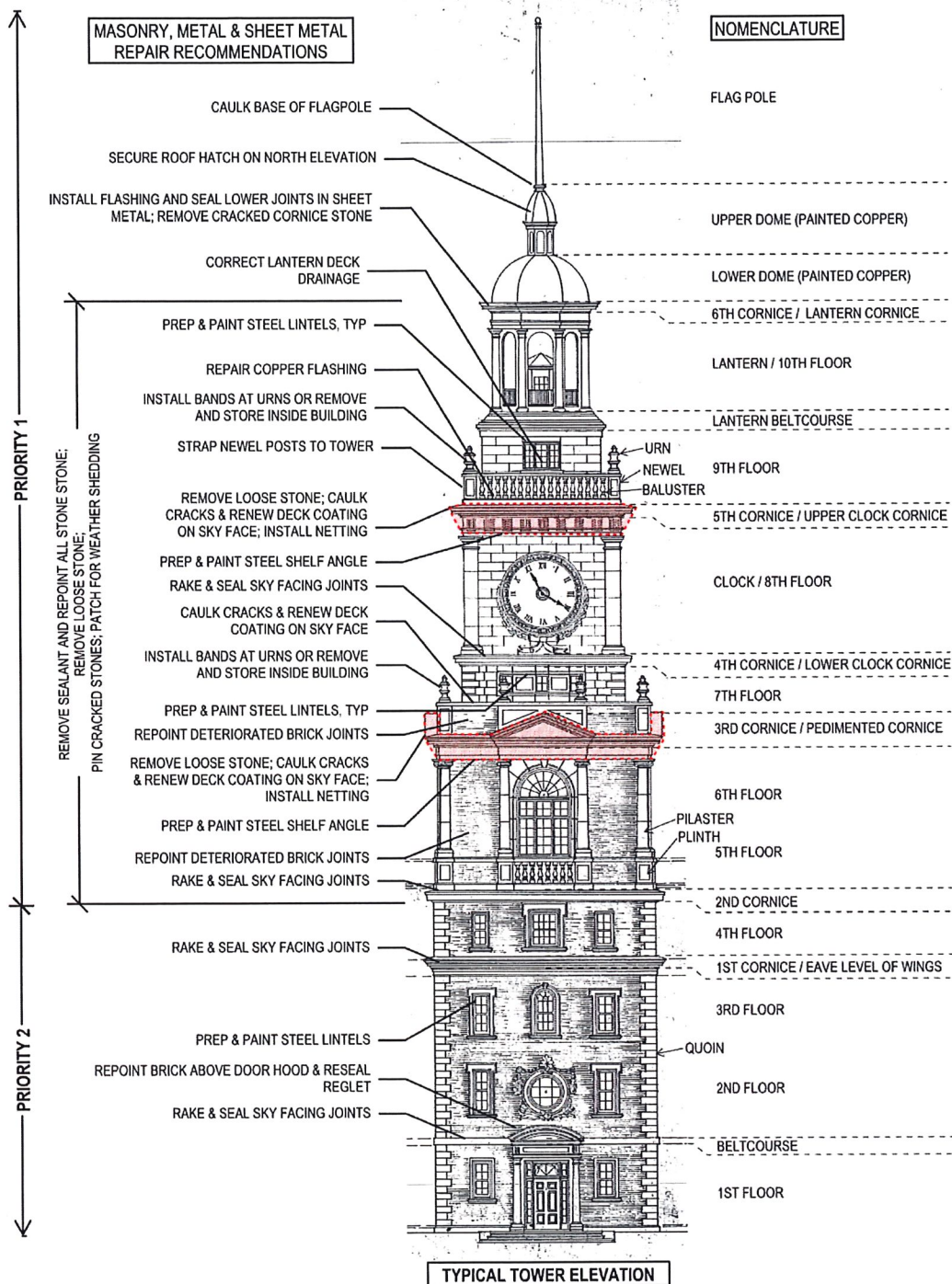
We understand that SCL Health would like to get as much work completed as possible this fall. And we share concern about the conditions, particularly at the top of the tower.

To produce construction documents as quickly as possible we proposed to detail the work items that would require a specialty contractor. For work that TR Construction could perform or direct, we will produce written direction and incorporate that with the construction documents. Including this in the construction document package will create a record of the work. Per our phone conversation on 9/13/2017 and the accepted proposal dated 9/14/2017 we have commenced that work.

The proposal also includes support during pricing and construction. TreanorHL will also provide a Part 2 State Historic Tax Credit application for submission to the State of Kansas. It is our understanding that Matt Dennon, of SCL Health/St. Francis, is working to secure a sales tax exemption number for vendors to utilize during the project.







Sincerely,



K. Vance Kelley, AIA
Principal, TreanorHL



Julia Manglitz, AIA
Associate Principal, TreanorHL



Shawn McGarity
Lead Project Engineer, Bartlett & West

cc: Bruce Fong, SCLHS Director of Planning & Construction
Shawn McGarity, Bartlett & West

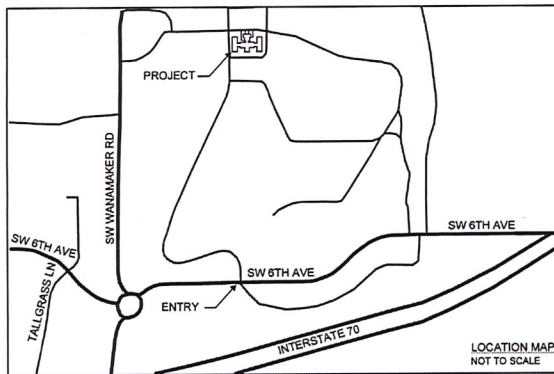
EXHIBIT 4

Sisters of Charity of Leavenworth Health System, Inc.

Application for Demolition Permit

Pre-Application Meeting

SCL Heath Systems Menninger Tower Stabilization



SHEET INDEX

G000 - COVERSHEET
G001 - GENERAL NOTES | PROJECT REQUIREMENTS
AS001 - SITE & ROOF PLAN
A100 - VENTING PLAN
A201 - TOWER SOUTH ELEV & DETAILS
A202 - TOWER WEST ELEV & DETAILS
A203 - TOWER NORTH ELEV & DETAILS
A204 - TOWER EAST ELEV & DETAILS

A205 - CENTRAL BLDG ELEV & DETAILS
A206 - WEST WING ELEV & DETAILS
A207 - NORTH WING ELEV & DETAILS
A208 - EAST WING ELEV & DETAILS
A209 - EAST & WEST CONNECTOR ELEV & DETAILS
A501 - CHIMNEY REPAIRS & DETAILS
S101 - STRUCTURAL DETAILS

ABBREVIATIONS

ABV ABOVE
ADJ ADJUSTABLE
AFF ABOVE FINISHED FLOOR
ALT ALTERNATE
ALUM ALUMINUM
ANCH ANCHOR
APX APPROXIMATE
ARCH ARCHITECTURAL
AUTO AUTOMATIC
BD BOARD
BLDG BUILDING
BLK BLOCK
BM BENCH MARK
BO BOTTOM OF
BOT BOTTOM
BR BRICK
BRG BEARING
BS BOTH SIDES
CI CAST IRON

CIP CAST IN PLACE
CL CENTER LINE
CLR CLR CLEAR
CMU CONCRETE MASONRY UNIT
CO CLEAN OUT
COL COLUMN
CONC CONCRETE
COND CONDITION
CONST CONSTRUCTION
CONT CONTINUOUS, CONTINUE
COUNTR COUNTERSUNK
CTSK DEEP/DEPTH DRAIN
DBL DOUBLE
DF DRINKING FOUNTAIN
DIA DIAMETER
DIM DIMENSION
DIV DIVISION
DN DN
DTL DTL

DWG DRAWING
E EAST
EA EACH
EB EXPANSION BOLT
EF EACH FACE
EJ EXPANSION JOINT
EL ELEVATION
EQ EQUAL
EQU EQUIPMENT
EST ESTIMATE
ETR EXISTING TO REMAIN
EXIST EXISTING
EXP EXPANSION
EXT EXTERIOR
FA FRESH AIR
FB FACE BRICK
FND FOUNDATION
FOC FACE OF CONCRETE

DWG FOF FACE OF FINISH
E FOM FACE OF MASONRY
EA FT FEET
EF FUT FUTURE
EG GA GAUGE
EJ GALV GALVANIZED
EL GC GENERAL CONTRACTOR
EQ GYP GYPSUM
EQ GWB GYPSUM WALL BOARD
EQU EQUIP
EST ESTIMATE
ETR HR HOUR
EXIST HT HEIGHT
EXP IN INCHES
EXT INCL INCLUDE(D), (ING)
FA INT INTERIOR
FB JF JOINT FILLER
FND JST JOIST
FOC JT JOINT

L LONGLENGTH
LMS LIMESTONE
LTL LINTEL
MAS MASONRY
MAT MATERIAL(S)
MAX MAXIMUM
MED MEDIUM
MFR MANUFACTURE/MANUFACTURER
MIN MINIMUM
MISC MISCELLANEOUS
MLO MOLDING, MOLDING
MO MASONRY OPENING
MTL METAL
N NORTH
NIC NOT IN CONTRACT
NO NUMBER
NOM NOMINAL
NTS NOT TO SCALE
OC ON CENTER

OH OVERHEAD
OPNG OPENING
OPP OPPOSITE
OPP H H OPPOSITE HAND
PERIM PERIMETER
PERP PERPENDICULAR
PR PAIR
PVMT PAVEMENT
QTY QUANTITY
R RADIUS OR RISER
RAD RADIUS
REF REFER TO REFERENCE
REINF REINFORCED(ING)
REM REMOVE
REQ REQUIRE(D)
RET RETURN
REV REVISION
RO ROUGH OPENING
RVRS REVERSE

S SCHED
SECT SECTION
SF SQUARE FEET
SHT SHEET
SIM SIMILAR
SLNT SEALANT
SPEC SPECIFICATION(S)
SST STAINLESS STEEL
STD STANDARD
STL STEEL
STN STONE
STRUCT STRUCTURAL
SYS SYSTEM
TBD TO BE DETERMINED
THK THICKNESS
THRU THROUGH
TO TOP OF
TOC TOP OF CONCRETE

TOS TOP OF STEEL, TOP OF SLAB
TOW TOP OF WALL
TS TUBE STEEL
TYP TYPICAL
UC UNDER CONTRACT
UNF UNFINISHED
UNO UNLESS NOTED OTHERWISE
VERT VERTICAL
VIF VERIFY IN FIELD
W WIDTH
WV WITH
WDO WITHOUT
WDO WINDOW
WO WHERE OCCURS

TREANORHL
719 SW Van Buren St. Ste. 200
Topeka, KS 66603

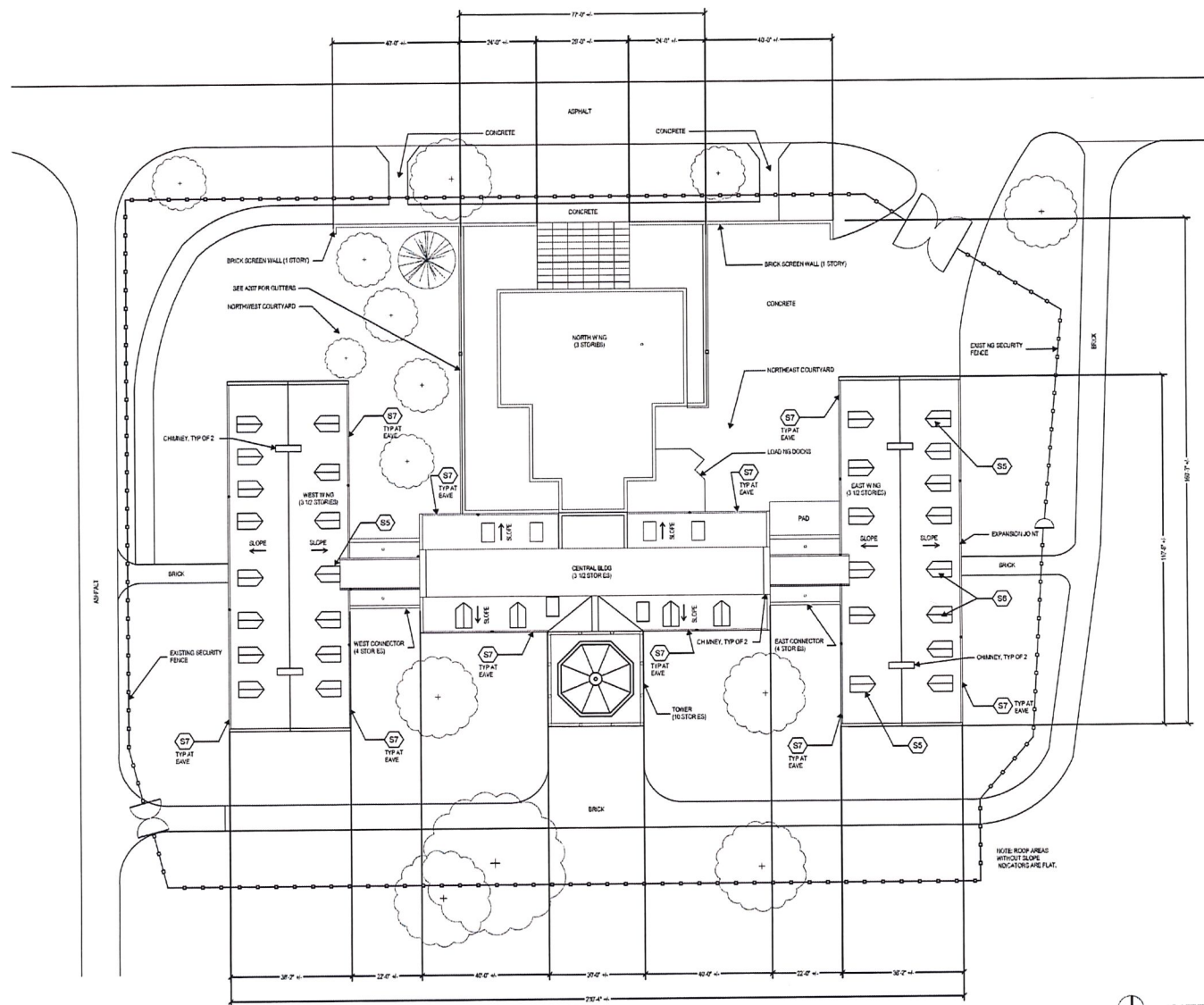
Bartlett & West
544 Columbia Dr.
Lawrence, KS 66049

SCL Health Systems
Menninger Tower Stabilization
5800 SW Sixth St.
Topeka, KS 66606



100% CONSTRUCTION
DOCUMENTS
10/06/2017
COVER SHEET

11/05/2017 2:55:08 PM



SITE PLAN A1
1/16" = 1'-0"

- ROOF REPAIRS (P1)**
1. CLEAR DEBRIS FROM ALL GUTTERS, REPORT DAMAGE UNCOVERED TO ARCHITECT
 2. SHAPE ALL ROOF DRAINS AND CLEAR DOWNSPUTS
 3. INSTALL STANCHIONS OR STOPPING AT ALL ROOF DRAINS
 4. SEE A300 SHEETS FOR WALL, CHIMNEY, AND DONGER REPAIR

LEGEND

- + ROOF DRAIN IN GUTTER
- ROOF DRAIN IN FLAT ROOF
- DOWNSPUT

KEY NOTES

- M1 MAKE & POINT WITH MORTAR PER A30201
- M2 MAKE & POINT WITH SEALANT PER A30201
- M3 MAKE JOINTS REMOVED CRACKS & LEAKAGE ROUTE CRACKS TO AT CRACKS & JOINTS WITH SEALANT PER A30201; APPLY ELASTOMERIC COATING PER A30201; PREPARE FLASHPATCH TERMINATION
- M4 CRACK/FLASHPATCH REPAIR
- M5 PIN CRACK PER REFERENCED DETAIL
- M6 REMOVE LOOSE MATERIAL
- M7 PROVIDE DEBRIS NETTING SECURE PER A40101
- M8 APPLY BAND TO UPN PER B.10101
- M9 STRAP NUTS TO BUILDING PER A1 & A20101
- M10 NUT CRACK PER REFERENCED DETAIL
- M11 REPAIR PERIMETER OF WALLS & ANCHORS & SEAL CRACKS ON EXTERIOR FROM ROOF
- M12 REMOVE VINE, TREE OR OTHER VEGETATION FROM ROOF, REMOVE ROOTS TO SATISFACTORY DEPTH, AND ROOT REMOVAL TO ALL PLANTS
- M13 APPLY BAND TO COLUMN PER B.10101
- S1 SEAL JOINT IN FLASHING WITH FULLY ADHESIVE EPDM MEMBRANE PER A20201
- S2 INSTALL FLASHING PER DETAIL
- S3 REPAIR FLASHING TERMINATION PER A20201
- S4 REPAIR PERIMETER OF OPENING
- S5 REPLACE MISSING OR DAMAGED SHINGLE
- S6 SECURE EXISTING LOOSE SHINGLE
- S7 SEAL JOINTS IN COPPER FLASHING DOWNS
- P1 PREP & PAINT EXISTING METAL
- P2 PREP & PAINT EXISTING WOOD
- V1 INSTALL VENT IN PLYWOOD WINDOW COVERING OR IN PLYWOOD SET IN WINDOW FRAME
- V2 REMOVE DRYS FROM BOTH SIDES OF FRAMING AT EASTING STAR
- V3 PROP DOOR IN OPEN POSITION OR REMOVE FROM FRAME AND SET ASIDE ROOM



TREANORHL
718 SW Van Buren St., Ste. 200
Topeka, Kansas 66603
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www.treanorhl.com

Bartlett & West

SCL Health Systems
Menninger Tower Stabilization
5800 SW Sixth Street
Topeka, KS 66606



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Scale: 1/16" = 1'-0"

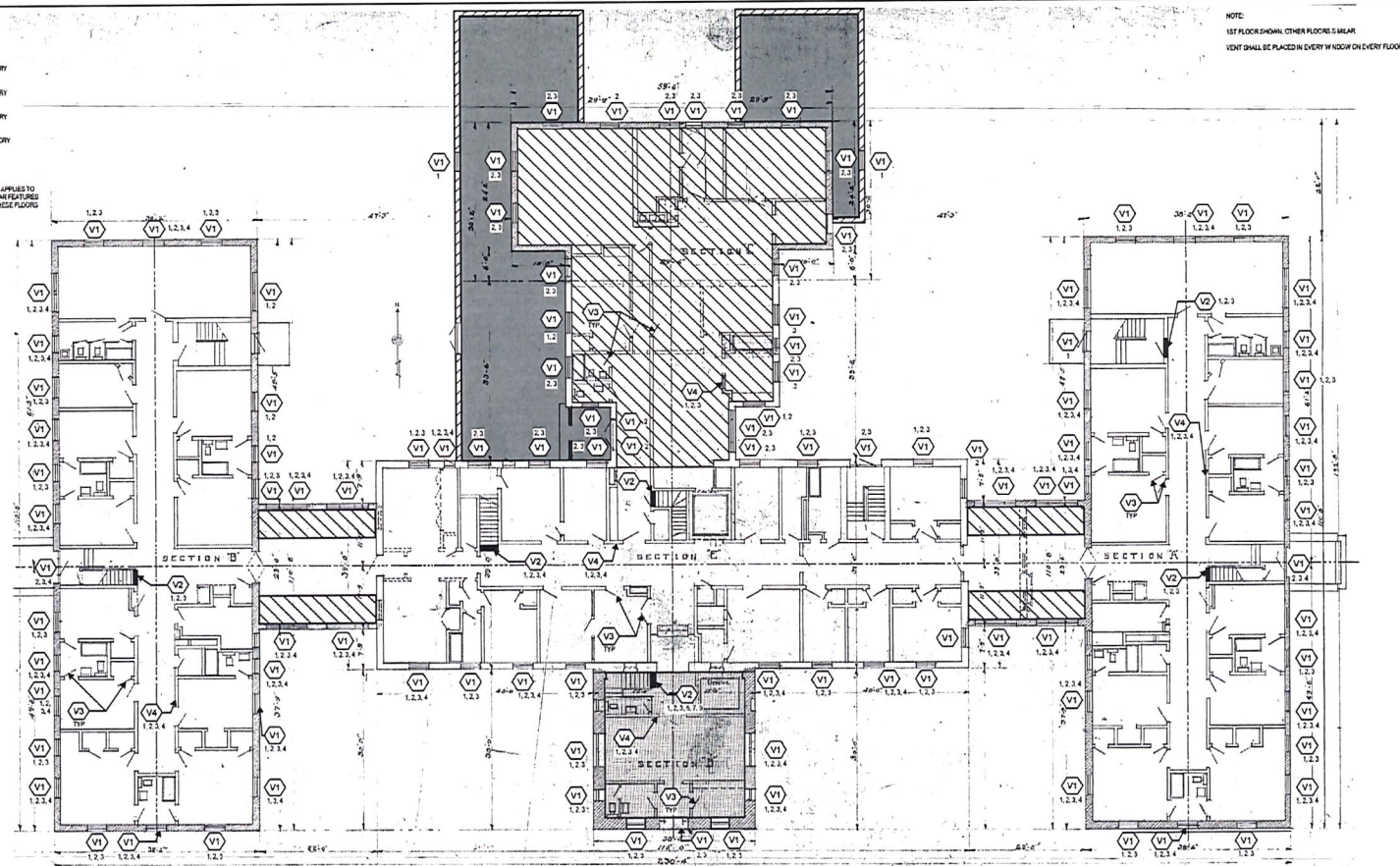
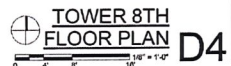
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Date: 10/06/17

REVISIONS		
NO	DESCRIPTION	DATE

AS001

SITE & ROOF PLAN

TreanorHL, INC.



NOTE:
1ST FLOOR SHOWN. OTHER FLOORS 5 MILAR.
VENT SHALL BE PLACED IN EVERY WINDOW ON EVERY FLOOR

FLOOR AREA
(GROSS AREA INSIDE EXTERIOR WALLS)

1ST FLOOR - 19,200 SF
2ND FLOOR - 16,679 SF
3RD FLOOR - 15,679 SF
4TH FLOOR - 13,415 SF
5TH FLOOR - 620 SF
6TH FLOOR - 620 SF
7TH FLOOR - 388 SF
8TH FLOOR - 310 SF
9TH FLOOR - 183 SF
10TH FLOOR - 97 SF

ITEM	DESCRIPTION
M1	RAKE & PO NT WITH MORTAR PER ASG001
M2	RAKE & PO NT WITH SEALANT PER ASG001
M3	RAKE JOINTS, REMOVE CRACK FILLER & FOR ROUT CRACKS, PORT CRACKS & JOINTS WITH SEALANT PER ASG001; APPLY ELASTOMERIC COAT NG
M4	RESEAL REGLET OR FLASH NG TERMINATION
M5	CEMENTITIOUS PATCH REPAIR

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TREANORHL

**Bartlett
& West**

SCL Health Systems Menninger Tower Stabilization



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Date: 10/08/11

REVISIONS

NO	DESCRIPTION	DATE
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A100

A100

VENTING PLAN

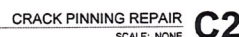
10. <http://www.who.int>

1000

TreandPHL NO.

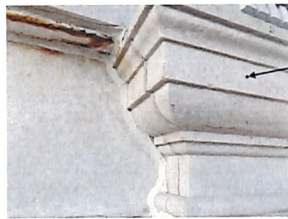


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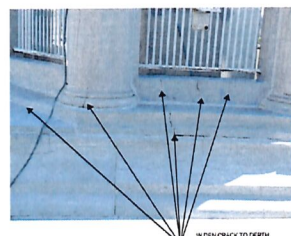




STONE INJECTION REPAIR **D3**
SCALE: NONE



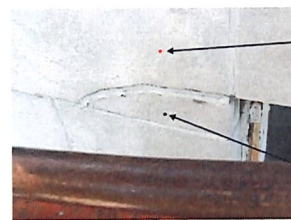
CRACK PINNING REPAIR **D2**
SCALE: NONE



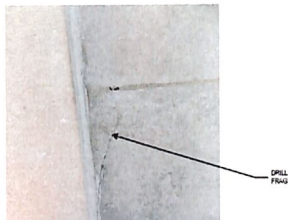
CRACK REPAIR **C3**
SCALE: NONE



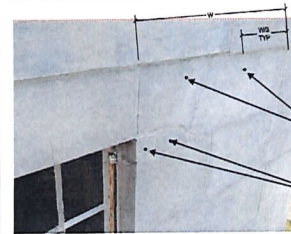
CRACK PINNING REPAIR **C2**
SCALE: NONE



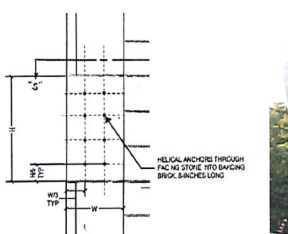
CRACK PINNING REPAIR **B3**
SCALE: NONE



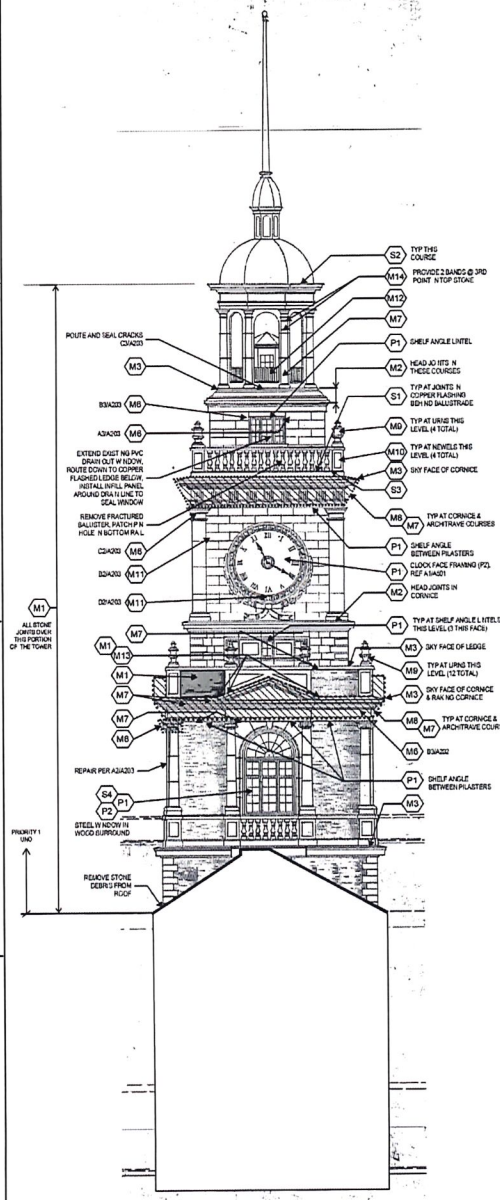
STONE INJECTION REPAIR **B2**
SCALE: NONE



CRACK PINNING REPAIR **A3**
SCALE: NONE



CRACK ANCHOR REPAIR **A2**
SCALE: NONE



TOWER NORTH ELEVATION **A1**
SCALE: 1/8" = 1'-0"

ELEVATION NOTES

REFER TO GRI AND SDR FOR MATERIAL SPECIFICATIONS, DEFLECTIONS AND OTHER WORK REQUIREMENTS.
REFER TO A100 FOR VENT NO PLAN
PROTECT ADJACENT MATERIALS AND ASSEMBLIES, INCLUDING ROOFS AND WINDOWS, FROM DAMAGE
ALL WORK IS CLASSIFIED AS PRIORITY 1 (P1) OR PRIORITY 2 (P2) BASED ON LOCATION, UNLESS NOTED OTHERWISE
REPAIR IN WINDOW AND DOOR COVER THAT EXHIBIT PAINT LOSS
INSTALL PAINTED PLYWOOD COVERING ON ALL WOOD IN WINDOWS WITH BROKEN GLAZING
INSTALL PLYWOOD PANELS AT BROKEN STEEL GLAZING PER DETAIL A10001
KEY NOTES

- M1 RAKE & POINT WITH MORTAR PER AUGUST
- M2 RAKE & POINT WITH SEALANT PER AUGUST
- M3 RAKE JOINTS, REMOVE CRACKS, FILL WITH SEALANT, ROUTE CRACKS, DO NOT DRAG & JOINTS WITH SEALANT PER AUGUST, APPLY ELASTOMERIC COATING
- M4 RESEAL RESEAL OR FLASHING TERMINATION
- M5 COMBINATION PATCH REPAIR
- M6 PIN CRACK PER REFERENCED DETAIL
- M7 REMOVE LOOSE MATERIAL
- M8 PROVIDE DRAINAGE NETTING, SECURE PER AUGUST
- M9 APPLY BANDS TO UPEN PER AUGUST
- M10 STRAP MOVING TO BUILDING PER AUGUST
- M11 INJECT CRACK PER REFERENCED DETAIL
- M12 RESEAL PERIMETER OF WALLS AND ANCHOR & SEAL CRACKS EXISTING FROM ANCHORS
- M13 REMOVE VINE, TREE OR OTHER VEGETATION FROM BUILDING, REMOVE ROOTS TO EXTENT POSSIBLE, TREAT ANY ROOT REMAINING TO KILL PLANT
- M14 APPLY BAND TO COLUMN PER AUGUST
- S1 SEAL JOINT IN FLASHING WITH FULLY ADHERED EPDM LEAKSTOPPER PER AUGUST
- S2 INSTALL FLASHING PER AUGUST
- S3 INSTALL FLASHING TERMINATION PER AUGUST
- S4 RESEAL PERIMETER OF OPENING
- S5 REPLACE MISSING OR DAMAGED SHINGLE
- S6 SECURE EXISTING LOOSE SHINGLE
- S7 SEAL JOINTS IN COPPER FLASHING GLAZING
- P1 PREP & PAINT EXISTING METAL
- P2 PREP & PAINT EXISTING WOOD
- V1 INSTALL VENT IN PLYWOOD WINDOW COVERING OR IN PLYWOOD SET INTO WINDOW FRAME
- V2 REMOVE OVER FROM BOTH SIDES OF FRAMING AT EXISTING STATE
- V3 PATCH OVER IN OPEN POSITION OR REMOVE FROM IN NEIGS AND SET INSIDE ROOM



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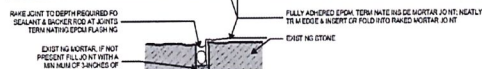
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NO	DESCRIPTION DATE

A203

TOWER NORTH
ELEV & DETAILS

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A photograph showing a brick chimney structure on a flat roof. The chimney has a large arched opening in the center and two smaller rectangular openings on either side. The brickwork appears aged and somewhat weathered. The roof surface is dark and flat. In the background, other buildings and trees are visible under a clear blue sky.

Diagram illustrating the plan view of a repair. The diagram shows a cross-section of a stone wall with a crack. A repair area is defined by a 4' MN (Minimum) width and a 4' MN depth. Pins are shown on the sides of the crack. The diagram is labeled "PLAN VIEW OF REPAIR".



NORTH ELEVATION - WEST SIDE



NORTH ELEVATION - WEST SIDE



SCOUT ELEVATION - WEST IS DR



SOUTH ELEVATION - EAST & DE



NORTH ELEVATION - EAST 3 ON

ELEVATION NOTES

REFER TO G011 AND B100 FOR MATERIAL SPECIFICATIONS,
DEFINITIONS AND OTHER WORK REQUIREMENTS.

REFER TO A100 FOR VENT NO PLAN

PROTECT ADJACENT MATERIALS AND ASSEMBLY ES. INCLUDING
ROOFS AND WINDOWS, FROM DAMAGE

ALL WORK IS CLASSIFIED AS PRIORITY 1 (P1) OR PRIORITY 2 (P2)
BASED ON LOCATION, UNLESS NOTED OTHERWISE

REPAIR WINDOW AND DOOR COVERING THAT EXHIBIT PAINT LOSS

INSTALL PAINTED PLYWOOD COVERS ON ALL WOOD WINDOWS
WITH BROKEN GLAZING

INSTALL 16 LL PANELS AT BROKEN STEEL SASH GLAZING, PER
DETAIL ON A501

KEY NOTES

- [illegible]



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**Bartlett
& West**

SCL Health Systems
Menninger Tower Stabilization



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NO	DESCRIPTION	DATE
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[illegible]

A205

A203

CENTRAL BLDG

ELEV & DETAILS

Teamwork NO

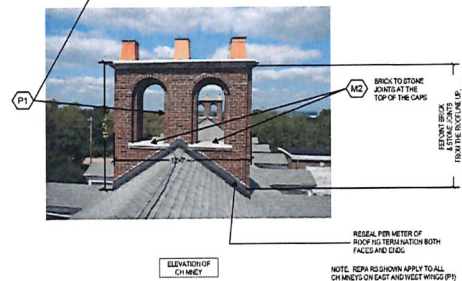


ROUTE & SEAL CRACK ON SKY FACE OF STONE

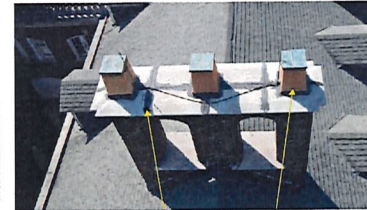
PROVIDE HELICAL ANCHOR AT 1/2" HEIGHT OF JOINT IN PATH (SHOW 12 INCHES LONG) (P1)



CRACK PINNING D3
SCALE: NONE



ELEVATION OF CHIMNEY



WEST & EAST WING CHIMNEY D1
SCALE: NONE

ELEVATION NOTES

REFER TO G081 AND G082 FOR MATERIAL SPECIFICATIONS, DIMENSIONS AND OTHER WORK REQUIREMENTS.

REFER TO A100 FOR VENT NO PLAN

PROTECT ADJACENT MATERIALS AND ASSEMBLIES INCLUDING ROOFS AND WINDOWS FROM DAMAGE

ALL WORK IS CLASSIFIED AS PRIORITY 1 (P1) OR PRIORITY 2 (P2) BASED ON LOCATION, UNLESS NOTED OTHERWISE

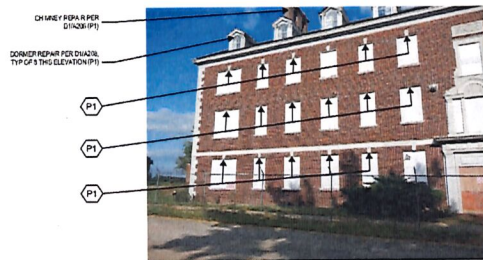
REPAIR IN ROOM AND DOOR COVERS THAT EXHIBIT PAINT LOSS

INSTALL PAINTED PLYWOOD COVERS ON ALL WOOD IN ROOMS WITH BROKEN GLAZING

INSTALL 1/2" Lx 1/2" PANELS AT BROKEN STEEL GLAZING PER DETAIL ON G081

KEY NOTES

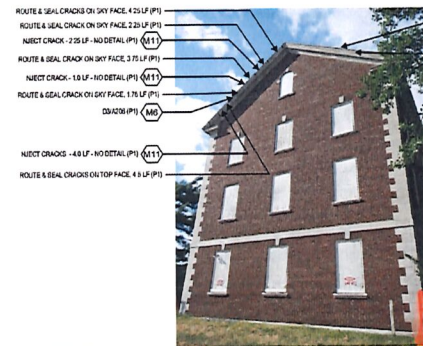
- M1 RAKE & POINT WITH MORTAR PER A00201
- M2 RAKE & POINT WITH SEALANT PER A00201
- M3 RAKE JOINTS: REMOVE CRACK FILLER WORK ROUTE CRACKS: RAKE OUT CRACKS & JOINTS WITH SEALANT PER A00201. APPLY ELASTOMERIC COATING
- M4 REPAIR: RESEAL OR FLASHING TERMINATION
- M5 CEMENTITIOUS PATCH REPAIR
- M6 FIN CHIMNEY PER REFERENCED DETAIL
- M7 REMOVE LOOSE MATERIAL
- M8 PROVIDE DRAINAGE NETTING (SECURE PER S040101)
- M9 APPLY BANDS TO URN PER A1 & A20101
- M10 STRAP METAL TO BUILDING PER A1 & A20101
- M11 NECT CRACK PER REFERENCED DETAIL
- M12 REPAIR: RESEAL OR FLASHING TERMINATION
- M13 REMOVE VENT, TREE OR COVER VENTILATION FROM BUILDING. REMOVE EXISTING FLASHING. TREAT ANY EXISTING FLASHING TO REPAIR
- M14 APPLY BAND TO COLUMN PER B030101
- G1 SEAL JOINT FLASHING WITH FULLY ADHERED EPDM MEMBRANE PER G085
- G2 INSTALL FLASHING PER DETAIL
- G3 INSTALL FLASHING TERMINATION PER DETAIL
- G4 RESEAL PERIMETER OF OPENING
- G5 REPLACE MISSING OR DAMAGED GYMOLE
- G6 SECURE EXISTING LOOSE SH MOLE
- G7 SEAL JOINTS IN COPPER FLASHING G0408
- P1 PREP & PAINT EXISTING METAL
- P2 PREP & PAINT EXISTING WOOD
- V1 INSTALL VENT IN PLYWOOD IF WOOD COVERING OR IN PLYWOOD SET INTO WOOD FRAME
- V2 REMOVE DOW FROM BOTH SIDES OF FRAMING AT EXISTING STAR
- V3 PREP DOW IN OPEN POSITION OR REMOVE FROM IN NEELS AND SET NEELS ROOM



WEST ELEVATION NORTH HALF



WEST ELEVATION SOUTH HALF



SOUTH ELEVATION



EAST ELEVATION - SOUTH HALF NORTHWEST COURTYARD



EAST ELEVATION - NORTH HALF NORTHWEST COURTYARD



NORTH ELEVATION



WEST WING ELEVATIONS

A1
SCALE: NONE



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A206

WEST WING ELEV & DETAILS

TreanorHL, NO.

EAST & NORTH ELEVATION

SOUTH ELEVATION

NE SCREEN WALL
SCALE: NONE

D5

SOUTH ELEVATION

WEST ELEVATION

NW SCREEN WALL
SCALE: NONE

A5

WEST ELEVATION - NORTH HALF

WEST ELEVATION - SOUTH HALF

EAST ELEVATION

WEST ELEVATION

NORTH ELEVATION

ELEVATION NOTES

REFER TO CORN AND GUS FOR MATERIAL SPECIFICATIONS, FINISHES AND OTHER WORK REQUIREMENTS.

REFER TO SIDS FOR VENT NO PLAN

PROTECT ADJACENT MATERIALS AND ASSEMBLIES INCLUDING ROOFS AND WOODS FROM DAMAGE.

ALL WORK IS CLASSIFIED AS PRIORITY 1 (P1) OR PRIORITY 2 (P2) BASED ON LOCATION, UNLESS NOTED OTHERWISE.

REPAINT IN ROOM AND DOOR COVERS THAT EXHIBIT PAINT LOSS.

INSTALL PAINTED FINISHED COVERS ON ALL WOODS IN ROOMS WITH BROKEN GLAZING.

INSTALL MP LL PANELS AT BROKEN STEEL GLAZING PER DETAIL L10 ON A501.

KEY NOTES

M1 RAKE & POINT WITH MORTAR PER A4001

M2 RAKE & POINT WITH SEALANT PER A4001

M3 RAKE JOINTS; REMOVE CRACKS; LATERAL ROUTE CRACKS; PO IN CRACKS & JOINTS WITH SEALANT PER A4001; APPLY ELASTOMERIC COATING.

M4 RESEAL RESEAL OR FLASHING TERMINATION

M5 GEMBITICIOUS PATCH REPAIR

M6 FIN CRACK PER REFERENCED DETAIL

M7 REMOVE LOOSE MATERIAL

M8 PROVIDE DIBING NETTING SECURE PER A4011

M9 APPLY BANDS TO URM PER B10101

M10 STRAP NUTS TO BU LONG PER A1 & A20101

M11 NUBST CRACK PER REFERENCED DETAIL

M12 REPAIR PROPORTION OF FALLING ANCHOR & SEAL CRACKS EXTERIOR PROPORTION

M13 REMOVE VINE, TREE OR OTHER VEGETATION FROM BUILDING; REMOVE ROOTS IF NECESSARY; TREAT ANY ROOT REMAINING TO KILL PLANT

M14 APPLY BAND TO COLLAR PER B10101

S1 SEAL JOINT FLASHING WITH FULLY ADHERED EPDM MEMBRANE PER A4001

S2 INSTALL FLASHING PER DETAIL

S3 INSTALL FLASHING TERMINATION PER DETAIL

S4 REPAIR PORTION OF OPENING

S5 REPLACE MISSING OR DAMAGED SH MOLE

S6 SECURE EXISTING LOOSE SH MOLE

S7 SEAL JOINTS IN COPPER FLASHING GLAZING

P1 PREP & PAINT EXISTING METAL

P2 PREP & PAINT EXISTING WOOD

V1 INSTALL VENT IN PLYWOOD W/ WOOD COVERING OR IN PLYWOOD GET INTO W/ WOOD FRAMING

V2 REMOVE OSB FROM BOTH SIDES OF FRAMING AT EXISTING STAR

V3 PREP ROOM IN OPEN PORTALS OR REMOVE FROM HINGES AND SET INSIDE ROOM

TRACEY H. H.
3108
P.E.
KANSAS

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SCL Health

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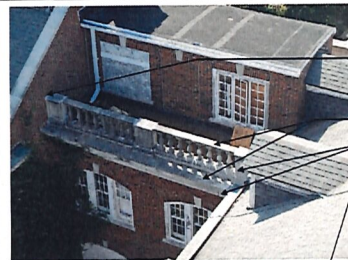
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A207
NORTH WING
ELEV & DETAILS

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16-020717-255.6.9.94



NORTH ELEVATION

M2
TYP WHERE BAL NO AND
CORNICHE TERMINATE AT
WALLS (P1)

M3
TYP AT DRY FACING
JOINTS IN BAL NO CAP
AND CORNICHE (P1)

M1
TYP AT BALUSTRADE
AND CORNICHE
ELEMENTS (P1)



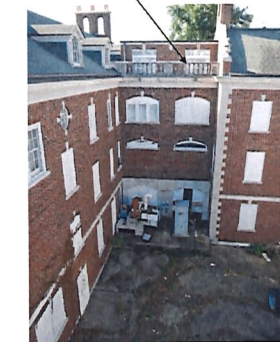
SOUTH ELEVATION

WEST CONNECTOR ELEVATIONS
SCALE: NONE **A3**

M2
TYP WHERE BAL NO AND
CORNICHE TERMINATE AT
WALLS (P1)

M3
TYP AT DRY FACING
JOINTS IN BAL NO CAP
AND CORNICHE (P1)

M1
TYP AT BALUSTRADE
AND CORNICHE
ELEMENTS (P1)



NORTH ELEVATION



SOUTH ELEVATION

EAST CONNECTOR ELEVATIONS
SCALE: NONE **A1**

ELEVATION NOTES

REFER TO CDD AND SDD FOR MATERIAL SPECIFICATIONS, DEFLECTIONS AND OTHER WORK REQUIREMENTS.
REFER TO ALSO FOR VENT NO PLAN.
PROTECT ADJACENT MATERIALS AND ASSEMBLIES, INCLUDING ROOFS AND WINDOWS, FROM DAMAGE.
ALL WORK IS CLASSIFIED AS PRIORITY 1 (P1) OR PRIORITY 2 (P2) BASED ON LOCATION, UNLESS NOTED OTHERWISE.
REPAIR WINDOW AND DOOR COVERING THAT EXHIBIT PAINT LOGS.
INSTALL PAINTED PLYWOOD COVERING ON ALL WINDOW SILLINGS WITH BROKEN GLAZING.
INSTALL MP LL PANELS AT BROKEN STEEL GLAZING, PER DETAILS ON A501.

KEY NOTES

- (M1) FINE & POINT WITH MORTAR PER A50001
- (M2) FINE & POINT WITH SEALANT PER A50001
- (M3) FINE JOINTS: REMOVE CRACKS, FILLER, BOR ROUTE CRACKS, JOINTS WITH SEALANT PER A50001. APPLY ELASTOMERIC COATING.
- (M4) RESEAL REVELET OR FLASHING TERMINATION
- (M5) CEADITIONOUS PATCH REPAIR
- (M6) PIN CRACK PER REFERENCED DETAIL
- (M7) REMOVE LOOSE MATERIAL
- (M8) PROVIDE DEBRIS NETT NO, SECURE PER A4501
- (M9) APPLY BANDS TO URM PER B10101
- (M10) STRAP NUTS, TO RU LONG PER A1 & A2101
- (M11) NECT CRACK PER REFERENCED DETAIL
- (M12) RESEAL PERIMETER OF BAL NO ANCHOR & SEAL CRACKS EXHIBITING FROM WINDOW
- (M13) REMOVE WE, TREE OR OTHER VEGETATION FROM BUILDING. REMOVE ROOTS TO GROUND POSSIBLE. TREAT ANY ROOT REMAINING TO KILL PLANT
- (M14) APPLY BAND TO COLLUM PER B10101
- (S1) SEAL JOINT IN FLASHING WITH FULLY ADHERED EPDM MEMBRANE PER C4000
- (S2) INSTALL FLASHING PER D4000
- (S3) INSTALL FLASHING TERMINATION PER C2000
- (S4) FEDERAL PERIMETER OF OPENING
- (S5) REPLACE MISSING OR DAMAGED SH HOLE
- (S6) SECURE EXISTING LOOSE SH HOLE
- (S7) SEAL JOINTS IN COPPER FLASHING GLAZER
- (P1) PREP & PAINT EXISTING METAL
- (P2) PREP & PAINT EXISTING WOOD
- (V1) INSTALL VENT IN PLYWOOD WINDOW COVERING OR IN PLYWOOD SET INTO WINDOW FRAME
- (V2) REMOVE OSB FROM BOTH SIDES OF FRAMING AT EXIST TO EXTER
- (V3) PREP DOOR IN OPEN POSITION OR REMOVE FROM IN NEEDS AND SET INSIDE ROOM



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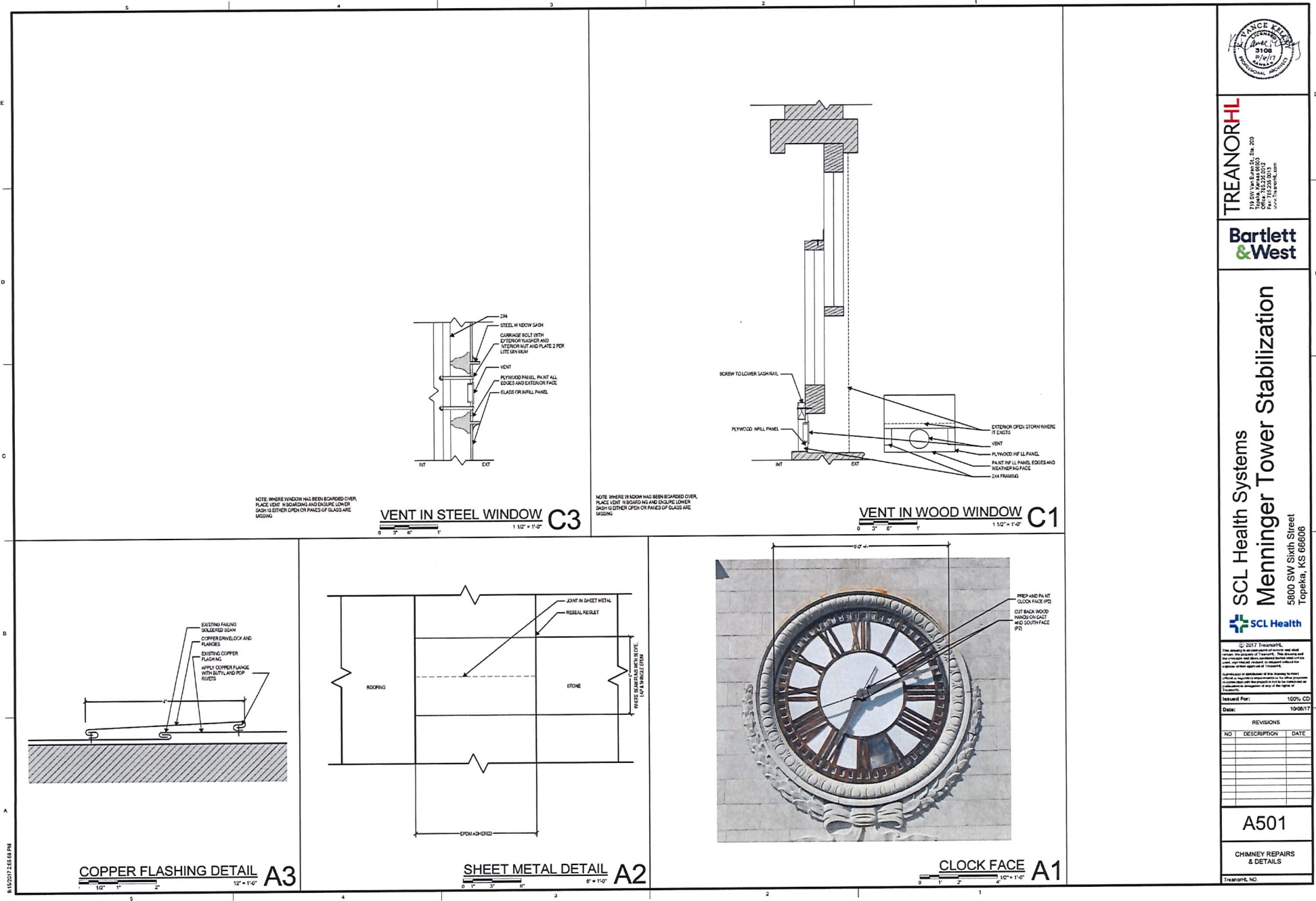
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A209

E & W CONNECTOR
ELEV & DETAILS

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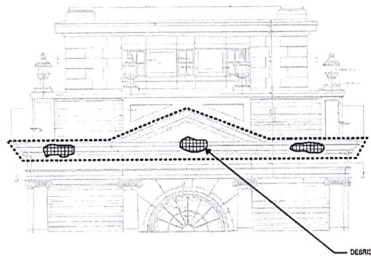
REVISIONS		
NO.	DESCRIPTION	DATE

A501

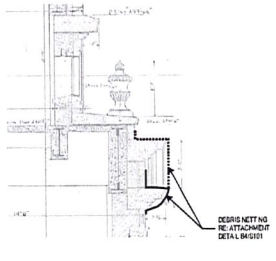
CHIMNEY REPAIRS
& DETAILS

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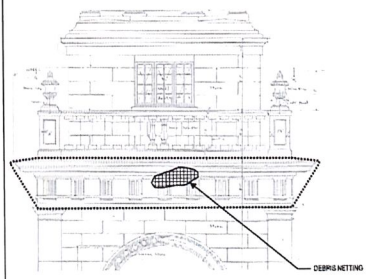
8/4/2017 2:55:09 PM



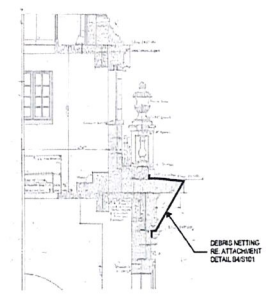
TYPICAL ELEVATION - DEBRIS NETTING
SCALE: NONE **C4**



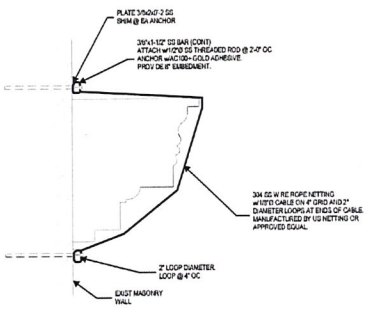
TYPICAL DEBRIS NETTING DETAIL
SCALE: NONE **C3**



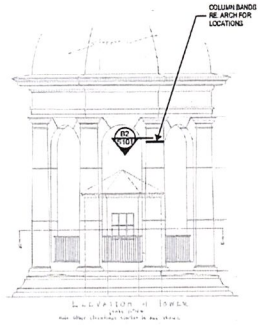
TYPICAL ELEVATION - DEBRIS NETTING
SCALE: NONE **C2**



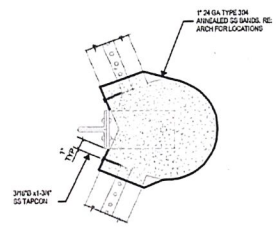
TYPICAL DEBRIS NETTING DETAIL
SCALE: NONE **C1**



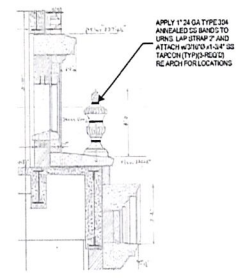
TYPICAL DEBRIS NETTING ATTACHMENT DETAIL
SCALE: NONE **B4**



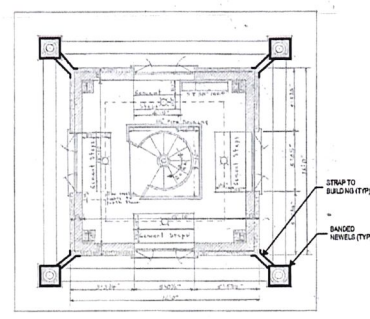
COLUMN BAND DETAIL
SCALE: NONE **B3**



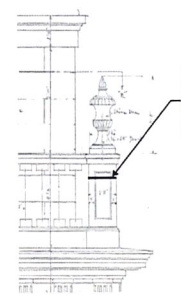
COLUMN BAND SECTION
SCALE: NONE **B2**



URN BAND DETAIL
SCALE: NONE **B1**



PLAN @ NEWELS LEVEL
SCALE: NONE **A2**



NEWEL BAND DETAIL
SCALE: NONE **A1**



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NO	DESCRIPTION DATE

S101

STRUCTURAL DETAILS

TreanorHL, INC.

EXHIBIT 5

Sisters of Charity of Leavenworth Health System, Inc.

Application for Demolition Permit

Pre-Application Meeting



Randy Goldsmith
Commercial Real Estate Advisor
Licensed Real Estate Broker

K-1 Realty, LLC.

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Topeka, Kansas 66615

785 221-1122 Cell
785 228-4876 Fax

randy.goldsmith@k1realtyllc.com
www.k-1realtyllc.com

November 30th, 2020

Mr. Timothy Shultz
Goodell, Straton, Edmunds & Palmer LLP
515 S. Kansas Ave.
Topeka, Kansas 66603

RE: Menninger Clock Tower

Dear Tim:

In regards to leasing space in the Menninger Clock Tower, the interior would need to be repaired/refinished to a leasable type of finish, HVAC would need to be installed and some type of parking provided. As noted, these items will be a considerable expense as well. Once these items have been completed there would be approximately 45,000 SF of leasable space.

Due to the current market and economic conditions, it is my opinion that the lease rate would be approximately \$4.00 to \$5.50 per square foot modified gross (this includes all expenses with a base year for those expenses) This rate is based on the size and design of the existing offices/rooms that would be available.

Please let me know if you have any questions or need anything additional.

Regards,

Randy Goldsmith

Randy Goldsmith
K-1 Realty

EXHIBIT 6

Sisters of Charity of Leavenworth Health System, Inc.

Application for Demolition Permit

Pre-Application Meeting

SNCAMA Property Record Card

Parcel ID: 089-098-28-0-30-01-001.00-0

Quick Ref: R14934

Tax Year: 2021

Run Date: 9/10/2020 5:26:10 PM

OWNER NAME AND MAILING ADDRESS

SISTERS OF CHARITY OF LEAVENWORT

1700 SW 7TH
TOPEKA, KS 66606-1674

PROPERTY SITUS ADDRESS

5820 SW 6TH AVE
Topeka, KS 66606
5800 SW 6TH AVE
Topeka, KS 66606

LAND BASED CLASSIFICATION SYSTEM

Function: 6570 Charitable Instit Sfx: 0
 Activity: 4900 Charitable, scientific, or bene
 Ownership: 6000 Nonprofit ownership restrictio
 Site: 6000 Developed site - with building

GENERAL PROPERTY INFORMATION

Prop Class: N Not for Profit - N
 Living Units:
 Zoning: PUD
 Neighborhood: 311.0 311.0 - WESTRIDGE MAL
 Economic Adj. Factor:
 Map / Routing: / WE-D
 Tax Unit Group: 014-014



Image Date: 02/06/2013

PROPERTY FACTORS

Topography: Level - 1, Rolling - 4
 Utilities: All Public - 1
 Access: Paved Road - 1, Sidewalk - 6
 Fronting: Major Strip or CBD - 1
 Location: Business Cluster - 3
 Parking Type: Off Street - 1
 Parking Quantity: Adequate - 2
 Parking Proximity: On Site - 3
 Parking Covered:
 Parking Uncovered:

INSPECTION HISTORY

Date	Time	Code	Reason	Appraiser	Contact	Code
12/26/2019	4:05 PM	VI	R	SRB		
07/25/2019	12:40 PM	VI	R	SRB		
01/11/2013	11:40 AM	5	P	SJB		

BUILDING PERMITS

Number	Amount	Type	Issue Date	Status	% Comp
12-0001	1	Demo Commercial Building	02/01/2012	C	100
08-0125	1	Demolition	06/02/2008	C	100
08-0126	1	Demo Commercial Building	06/02/2008	C	100

2021 APPRAISED VALUE

2020 APPRAISED VALUE

Cls	Land	Building	Total
N	680.320	300.570	980.890
V	2,475.340	0	2,475.340
Total	3,155.660	300.570	3,456.230

Not Yet Available

TRACT DESCRIPTION

MENNINGER FOUNDATION, S28, T11, R15,
 BLOCK A, Lot 1, ACRES 71.57, BLK A PT LOT 1
 BEG E 25' S 1094.51' NW COR SW1/4 ELY 68.24'
 NLY 420.76' E 445.78' NELY 54.62' N 169.88' E
 377.50' SELY 284.09' SWLY 189.46' WLY 18.32'
 ELY 1169.66' S 1449.67' WLY 1410'(S) NELY
 264.5' N 200 NW 102.9' N 300 W 295.05' SW
 241.32' W 254.61' N 476'(S) W 791'(S) N 522'(S)
 TO POB ALL IN MENNINGER FOUNDATION
 SUB & LESS WILMARTH SUB & LESS TRACT
 DAF BEG 5.46 NW MOST SLY COR
 WILLMARTH SUB TH NW 203.07 SWLY 180.83 E
 118.36 TO POB

PARCEL COMMENTS

GenLink: 089-098-28-0-30-01-001.13-0-, 089-098-28-0-30-01-001.02-0-; Prop-NC: Combination, Sale Price, Appraiser Note; Prop-Com: AN - SP 1 & COMB INTO 1.13
 6/2020; AN- LOCKED GATE, NO ACCESS. EST ALL 12/19 SRB; AN - LG 7/25/2019; AN - SP TO 1.020 6/2016; AN- SPLIT TO 1.130 5/12; CB- W/1.05 TO 1.10 6/07; SP-
 TO 1.01 6/07; AN- CONNECTING #21 & 24; AN- STRG BLDG UNDER WALKWAY; AN- CONNECTING #21 & 24; AN- #21 FACILITIES MANAGEMENT; App-Com:
 CLERICAL-7153-2012-, CLERICAL-12981-2016-; Val-Com: SP TO 1.020 6/2016;; Land-Ac/Sf: ; Permits: ; ; ; Seeley Conference Center : , Thornlea Commons : ,
 Physical Recreation Bldg : , Creative Arts Bldg : , Woodshop : , Academic Center : , Menninger Clinic : , Lederer Bldg : , Clapp Hall : , Rosenthal Bldg : , Aron Bldg : , Pozez
 Hall : , Arnold Bldg : , Mag Hall : , Dick Bldg : , Kresge Hall : , Rosenberry Bldg : , Central Plant : , :

MARKET LAND INFORMATION

Method	Type	AC/SF	Eff FF	Depth	D-Fact	Inf1	Fact1	Inf2	Fact2	OVRD	Rsn	Cls	Model	Base Size	Base Val	Inc Val	Dec Val	Value Est
Soft	1-Primary Site - 1	647.923				4	25	7					6	40,000.00	4.20	4.20	4.20	680.320
Soft	3-Residual - 3	2,475.340				3	50	4				V	6	40,000.00	2.00	2.00	2.00	2,475.340

Total Market Land Value 3,155,660

SNCAMA Property Record Card

Parcel ID: 089-098-28-0-30-01-001.00-0

Quick Ref: R14934

Tax Year: 2021

Run Date: 9/10/2020 5:26:10 PM

GENERAL BUILDING INFORMATION

LBCS Structure Code: 2101-Office building (low rise 1-4 stories)

Bldg No. & Name: 1 TOWER BDG & PARKING

Identical Units: 1 No. of Units

Unit Type:

MS Mult: MS Zip:

APARTMENT DATA

1 2 3 4 5 6 7 8

Units:

BR Type:

Baths:

IMPROVEMENT COST SUMMARY

Building RCN: 9,815,770

Mkt Adj: 100 Eco Adj:

Building Value: 246,910

Other Improvement RCN: 0

Other Improvement Value: 0

CALCULATED VALUES

Cost Land: 3,155,660

Cost Building: 300,570

Cost Total: 3,456,230

Income Value: 3,826,540

Market Value:

MRA Value:

FINAL VALUES

Value Method: COST

Land Value: 3,155,660

Building Value: 300,570

Final Value: 3,456,230

Prior Value:

No Sketch Available

BUILDING COMMENTS

SKETCH VECTORS

COMMERCIAL BUILDING SECTIONS & BASEMENTS

Sec	Occupancy	MSCIs	Rank	Yr Blt	Eff Yr	Levels	Stories	Area	Perim	Hgt	Phys	Func	Econ	OVR %	Rsn	Inc Use	Net Area	Cls	RCN	% Gd	Value
1	344-Office Building	C	3.00	1928		01 / 01		19,716	1,212	12	1	1				082			3,527,270	7	246,910
705	344-Office Building	C	3.00			1		8,468	568	10						082					
1	344-Office Building	C	3.00	1928		02 / 03		18,036	1,160	12	1	0				082			5,021,940	0	0
1	344-Office Building	C	3.00	1928		04 / 04		8,996	612	12	1	0				082			1,266,550	0	0

COMMERCIAL BUILDING SECTION COMPONENTS

Sec	Code	Units	Pct	Size	Other	Rank	Year
1	649-No HVAC		100				
1	652-Freight Power #	1			05		
1	882-Stud -Brick Veneer		100				
1	8065-Canopy, Retail Wood Frame	80					
1	649-No HVAC		100				
1	882-Stud -Brick Veneer		100				
1	649-No HVAC		100				
1	882-Stud -Brick Veneer		100				

OTHER BUILDING IMPROVEMENT COMPONENTS

SNCAMA Property Record Card

Parcel ID: 089-098-28-0-30-01-001.00-0

Quick Ref: R14934

Tax Year: 2021

Run Date: 9/10/2020 5:26:10 PM

GENERAL BUILDING INFORMATION

LBCS Structure Code: 2731-Warehouse, prefab

Bldg No. & Name: bldg 29 Morton

Identical Units: 1 No. of Units

Unit Type:

MS Mult: MS Zip:

APARTMENT DATA

1 2 3 4 5 6 7 8

Units:

BR Type:

Baths:

IMPROVEMENT COST SUMMARY

Building RCN: 124,800
 Mkt Adj: 100 Eco Adj:
 Building Value: 53,660
 Other Improvement RCN: 0
 Other Improvement Value: 0

CALCULATED VALUES

Cost Land: 3,155,660
 Cost Building: 300,570
 Cost Total: 3,456,230
 Income Value: 3,826,540
 Market Value:
 MRA Value:

FINAL VALUES

Value Method: COST
 Land Value: 3,155,660
 Building Value: 300,570
 Final Value: 3,456,230
 Prior Value:

No Sketch Available

BUILDING COMMENTS

SKETCH VECTORS

COMMERCIAL BUILDING SECTIONS & BASEMENTS

Sec	Occupancy	MSCIs	Rank	Yr Blt	Eff Yr	Levels	Stories	Area	Perim	Hgt	Phys	Func	Econ	OVR %	Rsn	Inc Use	Net Area	Cls	RCN	% Gd	Value
1	406-Storage Warehouse	D	2.00	1979		01 / 01		3,204	228	16	3					045X			124,800	43	53,660

COMMERCIAL BUILDING SECTION COMPONENTS

Sec	Code	Units	Pct	Size	Other	Rank	Year
1	649-No HVAC						
1	918-Single -Metal on Wood Frame		100				

OTHER BUILDING IMPROVEMENT COMPONENTS

United States Department of the Interior
National Park Service

NATIONAL REGISTER
LISTED

NOV 30 2005

National Register of Historic Places Registration Form

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in *How to Complete the National Register of Historic Places Registration Form* (National Register Bulletin 16A) Complete each item by marking "x" in the appropriate box or by entering the information requested. If an item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. Place additional entries and narrative items on continuation sheets (NPS Form 10-9000a). Use a typewriter, word processor, or computer, to complete all items.

1. Name of Property

Historic name Security Benefit Association Hospital Building
Other name/site number The SBA, or the Menninger "Tower Building" / 177-5400-1746

2. Location

Street & number 5800 SW 6th; .5 mi. NW on private road ☐ not for publication
City or town Topeka ☐ vicinity
State Kansas Code KS County Shawnee Code 177 Zip code 6650

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act, as amended, I hereby certify that this ☒ nomination
☐ request for determination of eligibility meets the documentation standards for registering properties in the National Register of
Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property
☒ meets ☐ does not meet the National Register criteria. I recommend that this property be considered significant
☐ nationally ☒ statewide ☐ locally. (☐ See continuation sheet for additional comments.)

[Signature]
Signature of certifying official/Title
Kansas State Historical Society

10/12/05
Date

State or Federal agency and bureau

In my opinion, the property ☐ meets ☐ does not meet the National Register criteria. (☐ See continuation sheet for additional
Comments.)

Signature of commenting official /Title

Date

State or Federal agency and bureau

4. National Park Service Certification

I hereby certify that the property is

Signature of the Keeper

Date of Action

- ☐ entered in the National Register. _____
☐ See continuation sheet.
☐ determined eligible for the National Register _____
☐ See continuation sheet.
☐ determined not eligible for the National Register _____
☐ removed from the National Register _____
☐ other, (explain:) _____

Security Benefit Association Hospital
Name of Property

Shawnee County, Kansas
County and State

5. Classification

Ownership of Property

(Check as many boxes as apply)

- ☒ private
☐ public-local
☐ public-State
☐ public-Federal

Category of Property

(Check only one box)

- ☒ building(s)
☐ district
☐ site
☐ structure
☐ object

Number of Resources within Property

(Do not include previously listed resources in the count.)

Contributing	Noncontributing	
1		buildings
		sites
		structures
		objects
1		total

Name of related multiple property listing

(Enter "N/A" if property is not part of a multiple property listing.)

NA

Number of contributing resources previously listed in the National Register

0

6. Function or Use

Historic Functions

(Enter Categories from instructions)

HEALTHCARE / hospital

Current Functions

(Enter categories from instructions)

"WORK IN PROGRESS"

COMMERCE / TRADE / business

7. Description

Architectural Classification

(Enter categories from instructions)

LATE 19TH & TWENTIETH CENTURY REVIVALS:

Colonial Revival

Materials

(Enter categories from instructions)

Foundation: Stone

Walls: Brick

Roof: Asphalt-fiberglass tab shingles

Other: Brick; Stone; Wood; Metal; Glass; Copper

Narrative Description

(Describe the historic and current condition of the property on one or more continuation sheets.)

Security Benefit Association Hospital
Name of Property

Shawnee County, Kansas
County and State

8. Statement of Significance

Applicable National Register Criteria

(Mark "X" in one or more boxes for the criteria qualifying the property for National Register)

- ☐ A Property is associated with events that have made a significant contribution to the broad patterns of our history
- ☐ B Property is associated with the lives of persons significant in our past.
- ☒ C Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- ☐ D Property has yielded, or likely to yield, information important in prehistory or history.

Criteria Considerations

(Mark "x" in all the boxes that apply.)

Property is:

- ☐ A owned by a religious institution or used for religious purposes.
- ☐ B removed from its original location.
- ☐ C a birthplace or grave.
- ☐ D a cemetery.
- ☐ E a reconstructed building, object, or structure.
- ☐ F a commemorative property.
- ☐ G less than 50 years of age or achieved significance within the past 50 years

Narrative Statement of Significance

(Explain the significance of the property on one or more continuation sheets.)

Areas of Significance

(Enter categories from instructions)

ARCHITECTURE

Period of Significance

1925 - 1929

Significant Dates

1925; 1929

Significant Person

(Complete if Criterion B is marked above)

Cultural Affiliation

NA

Architect/Builder

Richard E. Schmidt, Garden & Martin, Architects

Walter E. Glover, Architect

9. Major Bibliographical References

Bibliography

(Cite the books, articles, and other sources used in preparing this form on one or more continuation sheets.)

Previous documentation on file (NPS):

- ☐ preliminary determination of individual listing (36 CFR 67) has been requested
- ☐ previously listed in the National Register
- ☐ previously determined eligible by the National Register
- ☐ designated a National Historic Landmark
- ☐ recorded by Historic American Buildings Survey # _____
- ☐ recorded by Historic American Engineering Record # _____

Primary location of additional data:

- ☒ State Historic Preservation Office
- ☐ Other State agency
- ☐ Federal agency
- ☐ Local government
- ☐ University
- ☒ Other

Name of repository:

Menninger Foundation archives and property documents

Security Benefit Association Hospital
Name of Property

Shawnee County, Kansas
County and State

10. Geographical Data

Acreage of Property 2.37

UTM References

(Place additional UTM references on a continuation sheet.)

1	1	5	2	6	1	4	0	0	4	3	2	7	1	4	0
Zone	Easting				Northing										
2															

3															
Zone	Easting				Northing										
4															

☐ See continuation sheet

Verbal Boundary Description

(Describe the boundaries of the property on a continuation sheet.)

Boundary Justification

(Explain why the boundaries were selected on a continuation sheet.)

11. Form Prepared By

Name/title William Seale, Ph. D., historian Chris Meinhardt, R. A., local coordinator;
Organization NA Date March 18, 2005
Street & number 1019 Fillmore Telephone 785-234-4464
City or town Topeka State KS Zip code 66604

Additional Documentation

Submit the following items with the completed form:

Continuation Sheets

Maps

A **USGS map** (7.5 or 15 minute series) indicating the property's location.

A **sketch map** for historic districts and properties having large acreage or numerous resources.

Photographs

Representative **black and white photographs** of the property.

Additional items

(Check with SHPO or FPO for any additional items)

Property Owner

Name The Menninger Foundation NOTE: subject property is under contract for sale to Heritage Preservation Group, L.L.C., Don Kern, Managing Partner Address 1830 SW Cheyenne Rd., Topeka, Kansas 66604
Street & number PO Box 4364 Telephone 785-273-2600
City or town Topeka State KS Zip code 66604--0364

Paperwork Reduction Act Statement: This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C. 470 et seq.).

Estimated Burden Statement: Public reporting burden for this form is estimated to average 18.1 hours per response including time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Chief, Administrative Services Division, National Park Service, P.O. Box 37127, Washington, DC 20013-7127; and the Office of Management and Budget, Paperwork Reduction Projects (1024-0018), Washington, DC 20503

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Continuation Sheet

Security Benefit Association Hospital
Shawnee Co., Kansas

Section number 7 Page 1

Narrative Description

Overview

The Security Benefit Association (SBA) Hospital building is on a 2.3-acre tract of land in the proposed Menninger Foundation Subdivision in northwest Topeka, Kansas. The brick and limestone, three-story and attic building shows fine and enduring materials, classic architectural details, methodical composition, and grand proportions in scale with its historic function and open setting. A 140-foot high clock tower placed forward and center is its defining feature.

Designed and completed in two stages in the 1920s, three large blocks—the central and two flanking blocks—form the building footprint along with the tower, rear entry block, and hyphens between the large blocks. The front of the tower, south wall of the central building block, and south gable walls of the large flanking wings compose the primary façade. The east and west facades are the out facing walls of the flanking wings. The rear façade is the north gable ends of the flanking wings and the rear of the central block. The tower is a strong presence in all the façades. The rear entry block is behind the main block and opposite the clock tower. The rear elevation shows service entries and the secondary main entry from the parking lots across the rear drive.

The Colonial Revival style edifice, originally a 250-bed, full service, 1920s state of the art hospital, is rendered in warm-red rectangular brick and light grey limestone. Pitched roofs with gable ends contain the attic story. Low brick parapets with cornices and capstones conceal flat roofs in the rear. Composition tab roofing recalls the color and texture of original slate tiles since removed. White painted wood windows with straight heads pierce the facades in regular bays, except the attic dormer windows have arched upper sashes. The building shows careful articulation of Georgian inspired details characteristic of the Colonial Revival style, including stone quoins, balustrades, keystones, columns and pilasters at main entries, and decorative objects composed in relief.

Site

The original site plan shows the hospital at the apex of two roadways diagonally crossing the park-like setting of the former SBA campus. Interstate 70 and commercial and residential subdivisions occupy the southerly portion of the original campus. The present land tract for the former hospital is in a proposed redevelopment project known as "River Hill Park," incorporating nearly 250 acres vacated in 2002 by the Menninger Foundation. This acreage included SBA buildings since razed and newer buildings by Menninger Foundation that stand. By the 1920s, SBA had acquired much of this acreage

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National Park Service

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Continuation Sheet

Security Benefit Association Hospital
Shawnee Co., Kansas

Section number 7 Page 2

when it was a pasture and regional land feature known by the late 19th century as Martin's Hill, named for John Martin, in 1873 the land's first white owner. The property had been a parcel of the Indian Territory assigned to the Shawnee tribe.

The Tower Building is centered atop the broad plateau of the hill. On the north, a wooded escarpment drops nearly 200 feet to the floor of the Kansas River valley. The south bank of the river flows easterly a third-mile distant. The Kansas Statehouse is 7 miles east-southeast. Interstate-70 runs parallel a half-mile south. The Pottawatomie Baptist Mission at the Kansas History Center is visible a mile west, Wanamaker Road lies a quarter mile west, and Cedar Crest Park, the official residence of Kansas governors, abuts the River Hill development east boundary.

A rectangular lawn with mature trees and shrubs dotting its perimeter spreads south in front of the tower and central block. This lawn and red brick-paved walks provide a park-like feeling much associated with the original campus. Parallel parking is at the west edge of the lawn along the south drive to the building. Walks lead to the main entry in the base of the tower. The tract is bounded on the south and east by brick buildings painted white that date from 1980. Asphalt roads bound the north and west sides of the tract. The ground falls eight feet from northeast to southwest. The topography is little modified since hospital construction. The 160-acre hilltop portion of the original campus is described as flat in 1917, when SBA received the 260 acre site as a donation.

Building

The building is situated on the north edge of the proposed tract, occupying about one-quarter the size of this tract. The central block is the largest and constructed first, opening in 1925. Quoting from the Preliminary Site information Questionnaire, "Responding to growing medical demands, SBA completed its complex and hospital in 1929-1930. From 1925 to January 1930, when the east and west additions opened, supposedly 10,000 people from most of the states in the union had been treated in Topeka. The new facility now totaled 72,000 square feet and counted 250 patient beds. Rooms in the new wings either had a private bath or shared a bath with an adjacent patient room. There were five operating rooms, 15 clinic rooms, two laboratories, an x-ray room, and a physical therapy room—the entire hospital (costing) a total of \$800,000."

The Tower Building is disposed symmetrically along perpendicular crossing axes. The primary axis is north to south and through the clock tower. The minor axis is east to west through the central block, with the tower offset to the south of this axis to abut the face of the central block. The total length

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Continuation Sheet

Security Benefit Association Hospital
Shawnee Co., Kansas

Section number 7 Page 3

is 230 feet and the total width 130 feet. Four-story "hyphens" separate the central block from the large flanking wings placed perpendicular on the east and west sides. These connect interior corridors on the four floors. The smaller rear block is three stories and abuts the central block. The entrance from the north parking lots is located in this rear block through a one-story 1980 addition having a steel framed and glass shed roof. Only the central block has a basement level, used to house utility equipment.

The structure throughout is reinforced concrete except the tower, which is steel frame and concrete floor slab. All walls and partitions are clay tile. The exterior face is English bond red brick. Cornices, first floor coursing, sills, headers, and such architectural details are limestone. Original wood windows remain (with few exceptions), being 6/6 and 4/4 divided-lite sashes. Metal-section storm windows are newer. Steel framed pitched roofs have gable ends, stone balustrades, and original copper leaders and flashings. Multiple red brick chimneystacks are also a distinctive feature. These extend high above the roof in arcades of non-functioning flues. Flat roofed areas are rubber or asphalt overlay.

Limestone trim details at primary entryways distinguish the facades. On the south, the entry is framed by Tuscan order columns flanking each side of a vestigial porch in the center bay of the tower front. An architrave spans these columns and above, the pediment and cornice are curved. This ornamental surround is enhanced by the composition of architectural ornament and play of scale in upper story windows in the center bay. The second floor window is round with rectangular lites framed by garlands and swags tied to a ribbed shell cartouche. At the third floor, the window is rectangular with double hung sashes, an arched header, and keystone. At the fourth floor, a double hung window is square with an architrave above the header. Simple double hung windows are set in the single bays flanking each center bay of the tower walls up through the fourth floor. Capping the fourth floor is an entablature, its projecting cornice supporting a low parapet that appears as a plinth for the first stage of the tower spire. Stone quoins wrap outside corners in the lower four stories, with east and west elevations mirroring the front excepting for the entryway.

The first stage of the tower spire is dominated by a colossal window framed by pilasters with Ionic capitals on raised plinths. A stone balustrade spans the plinths and meets a stone course that caps these elements, wrapping around this stage of the tower otherwise faced in red brick. An architrave spans corner pilasters and continues all around the tower above the colossal window. Above this, raking pediments are set against a limestone and brick parapet topped by urns with finial caps. The second stage of the tower spire is limestone between stone corner piers. An entablature spans these all around,

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Continuation Sheet

Security Benefit Association Hospital
Shawnee Co., Kansas

Section number 7 Page 4

its cornice supporting a balustrade that is the base for the final stage of the spire before the cupola. The four sides here are white clock faces ten feet in diameter, between stone piers, with Roman numerals and hour and minute hands painted black. The E. Howard Clock Company of Boston, Massachusetts, built the great clock. Reports reveal it was quite a wonder in the region. Edward Howard, whose company (founded in 1857 and still in business today) specialized in marine clocks, also built tower clocks such as this one. The central mechanism survives in place.

The cupola is eight-sided, its segments defined by columns spanned by arches supporting an entablature on which rests a copper paneled segmented dome. The dome is capped by a lantern shaped finial that is a much reduced scale replica of the cupola, and finally the flag mast. Within the open cupola is the eight-sided enclosure sheathed with copper panels to cover the spiral stair ascending from inside the tower spire. An open-air walk lies between this enclosure and the cupola columns, providing a secure platform for viewing the valley to the north and high plains to the south of the gently meandering Kansas River.

The East and West facades show entryways framed in a vertical composition of limestone trim and ornament. Pilasters and an entablature with tryglyphs frame a single door flanked by sidelights. The second floor window is a Palladian frame with a blind fan window, the panel a face for applied moldings. Each of the entryway compositions continue to the third floor and are capped by an architrave. As colossal overdoors, these compositions seem more Neoclassical than Colonial Revival.

Practicality dictates the interior plan, but stylistic features appearing at the Independence Hall tower in Philadelphia were followed carefully on the exterior. In summary, the building facades are simply detailed in a combination of materials uniquely American, the red brick facing contrasting with the English precedents for stone facing. The tower, in contrast to the simplicity of the rest of the building, is practically an index of Georgian design motifs; columns, balustrades, pilasters with carved capitals, urns, garlands of laurel, arcades surmounted by keystones, and most of all, an episodic rise of the great tower in architectural stages.

Within the richly detailed architectural shell were the modern facilities of the SBA hospital, designed as utilitarian spaces to serve varied medical treatments. Internally the building is a functional arrangement of working rooms, floored in terrazzo (under later-period carpeting), of plaster walls well lighted to serve the work of SBA Hospital at first, then the Menninger Foundation clinic. A four-foot diameter spiral staircase threads the tower spire to the cupola at the top. Larger service stairs are

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Security Benefit Association Hospital
Shawnee Co., Kansas

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elsewhere throughout the building. The original elevators no longer exist, their shafts plugged with bathrooms and closets, excepting the upper tower shaftway.

Other distinctive interior spaces are the solariums, formed as the corridor-connecting hyphens between the central block and wings. Essentially wide halls that served as floor lounges, these provide spatial relief and with triple bay double-hung windows, refresh the passage through double loaded central corridors. Numerous bronze door and floor plaques commemorate SBA and Menninger Foundation gifts and history.

Alteration

The original building begun in 1925 is the central main block, to which the hyphens, large flanking wings, the tower, and an enlarged rear block were added by 1930. Few alterations occurred until occupancy by the Menninger Foundation in 1961, which replaced plumbing fixtures and building systems equipment. New interior elevator shafts were added by 1981 as 18 new low-rise buildings for clinical use were placed nearby on the grounds surrounding the former hospital. Approximately 30 percent of the original patient rooms of the tower building were gutted to supply new research and education suites, and new lighting, power, and ventilating systems installed. The Skidmore, Owings, and Merrill firm of architects, Chicago office, designed both the tower building improvements and low-rise buildings.

A vacant building since 2002, the first floor is temporarily sheathed in protective plywood. The exterior is largely unaltered.

Conclusion

Planned with its hilltop setting in mind, the Tower Building today –75 years after its construction– has the open land effect of the original SBA campus, sufficiently preserving that idea. The interior has been modestly altered at intervals over the years. External modifications are few. The building retains integrity of location, design, materials, workmanship, feeling, and association.

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National Park Service

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Section number 8 Page 1

Security Benefit Association Hospital
Shawnee Co., Kansas

Statement of Significance

The Security Benefit Association (SBA) Hospital building, also known as the SBA or Menninger "Tower Building," is an individual property for nomination to the National Register of Historic Places. Characteristic of the more academic detailing in Colonial Revival style architecture, it meets the eligibility requirement for Criterion C.

The building exemplifies the Colonial Revival style as it was applied to institutional buildings in the decades between the two world wars. It deftly combines the bold concept of the skyscraper with the American colonial vernacular, as found in early America's premier landmark, Independence Hall. It expresses nativism and stability, and it proclaims democracy as democracy was first presented to the world in the Declaration of Independence. Developed through a fraternal society, founded in Topeka, Kansas and dedicated to mutual human welfare, there can be no doubt of the SBA Hospital's emblematic relation to American independence.

The Tower Building is striking to see on the rolling landscape surrounding Topeka, state capital of Kansas. Completed by 1930 as a modern surgical hospital, the Colonial-Revival conceit brings to the site both whimsy and an enduring monumentality that arrests the visitor, surprised by its abrupt appearance on the land. Placed at the apex of a campus created for the organized care of sick, orphaned, and aged subscribers to SBA programs, by far the feature of greatest interest is the 140-foot tower that fronts the central block of the hospital. The four sides of the tower show clock faces ten feet in diameter and through seventy years of building, the tower remains the physical feature most associated with the campus. It is a noted architectural monument---one might almost say a wonder---of the Kansas landscape. The SBA Hospital bespeaks in the various architectural languages of past and present the times when it was built, straddling the post war twenties and the Great Depression. Few buildings from that era are more succinctly American.

History

Meeting in a small east Topeka drugstore in December 1891, eleven men began the Security Benefit Life Insurance Company, chartered February 22, 1892. These men formed a plan for the

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Security Benefit Association Hospital
Shawnee Co., Kansas

organization of the Knights and Ladies of Security, a fraternal benefit society. Each man is said to have contributed one dollar to open its treasury. In 1919, when expanding the company as a beneficent organization for the active care of its beneficiaries, the company changed its name to Security Benefit Association. Although the new hospital had closed within thirty-five years, out of its humble beginnings in 1892, in just sixty years SBA had in force more insurance than all life insurance companies and all fraternal societies in existence in the U.S., according to Dean L. Smith's published SBA history. The company is in business today as the Security Benefit Group of Companies. Still a national leader in the field of life insurance and still based in Topeka, it recently occupied a new headquarters building at the southern base of Martin's Hill, on land of the original SBA campus.

A prominent Chicago, Illinois based firm, Richard E. Schmidt, Garden & Martin, Architects, began long-range site planning for the SBA complex in 1920 and designed the hospital building with the architect Walter E. Glover and his Topeka, Kansas firm. SBA built and owned the hospital through an SBA offspring corporation called Security Benefit Home and Hospital Association.

The extraordinary history of SBA, not the focus of this nomination, may be nationally significant in the field of organized healthcare. To continue operating in a fast changing national economy, SBA transformed into a mutual legal reserve life insurance company on January 1, 1950. An effect of this was immediate cessation of hospital privileges except for holders of SBA certificates. In 1954, six elderly persons in residence—the only SBA members yet in managed care—were removed to private rest homes as the hospital doors closed permanently. Throughout its existence, SBA had brought Topeka national attention as a healthcare destination.

In 1961, the world-renowned Menninger Foundation, begun 1925 in Topeka by the famed Menninger family of psychiatrists, purchased the SBA campus. The Foundation occupied the hospital (and all the campus) as a clinic for the treatment and prevention of mental illness, a research facility, and for professional education in the specialty field of psychiatric medicine. This occupancy also brought national attention to Topeka. The Foundation used the Tower Building widely as an image for its facility. A Tower Building photo, taken after the 35 million dollar campus-wide building expansion in 1981, has as its caption "The Tower Building, which resembles Independence Hall, is the

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Security Benefit Association Hospital
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focal point of the new campus." Today the building is in planning for rehabilitation as a multi-use office building.

Architecture

The Tower Building represents the skyscraper age that saw it built and like many others of the skyscraper type; it is rendered in the clothing of historical tradition. Use of colonial Georgian motifs was not new to corporate architecture or hospitals, being one of various manifestations of the nativist sentiment that followed the cataclysmic "internationalism" of World War I. Prior to the war, the skyscraper idea had been used in conjunction with civic architecture but the designs carefully honored architectural tradition. Burnham & Root's Masonic Temple in Chicago (1890-1892), twenty stories high, is an outstanding example, using a Richardsonian sort of detailing. The mighty tower of the Metropolitan Life Insurance Building in New York (1907-1909), by Napoleon LeBrun & Sons, attempts to suggest grand scale, a historical campanile.

McKim, Mead & White's Municipal Building (1908-1910) in New York is an example of a clustered U-shaped skyscraper of twenty-five stories that seemingly rise from the heroic colonnade at street level, crowned by a Christopher Wren sort of conceit that could itself be a separate building. Also in New York is Cass Gilbert's seminal C. Woolworth Building (1910-1913), for twenty years the tallest building in the world, presenting some sixty stories entirely ornamented externally and boldly so in the Perpendicular Gothic style. In Topeka, the SBA Hospital tower had a contemporary, indeed a rival, in the Collegiate Gothic Topeka High School tower, which topped at 165 feet, twenty-five feet higher than the hospital's tower.

Skyscrapers were first the architectural vocabulary of commerce. Made possible by the elevator, necessitated by the increasing density of the hearts of cities and the growing rolls of employees in business, the idea of skyscrapers had popular appeal as uniquely "American." Skyscrapers rose first in Chicago and New York in the last quarter of the 19th century and forcefully in the first decades of the 20th. In 1919, Bertram Goodhue electrified the architectural world with his design for the Nebraska Capitol at Lincoln, demonstrating the dramatic effect a high-rise or skyscraper

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form would cast over a boundless, ocean-like American prairie. The Louisiana Capitol followed this in the 1930s, and one nearly built in Delaware in that same decade.

Meanwhile the skyscraper impulse in building spread far and wide. For the compactness of space and convenience it provided, its application to hospitals cannot be surprising. What might be called the "skyscraper hospital," exceeding fifteen stories, began in the twenties with St. Luke's Hospital in Chicago, completed in 1925, followed by Jefferson Hospital in Philadelphia, 1927, and Hahnemann, Philadelphia, 1928, and Presbyterian in New York, 1928. Walter Reed Hospital in Washington, D.C., was a skyscraper hospital, actually devised by President Roosevelt in 1935 with a sketch made on a table napkin.

The Security Benefit hospital building was the contemporary of all of these. While not as tall, it still projected a skyscraper image, although with a sort of "narrative" theme---it symbolized the story of America's founding. Design and development of the hospital began in 1923 with the Chicago architectural firm. Working drawings were in hand in 1925. The distinguished local architect and engineer Walter E. Glover, who was in his middle thirties, had already done work for the sponsoring organization and the Masonic order, was supervising on the scene.

Future research may lead to precise knowledge of the roles of SBA architects and the intentions of SBA executives. These project leaders were obviously aware of the Nebraska Capitol and its modernism, but they were cognizant also of the movement toward nativism in architecture. After World War I, Americans looked to the security of the past. Even Goodhue's capitol was filled with historical and ethnic art, modern as the building itself seemed. In the later twenties, a widespread interest in colonial days reached its most powerful expression in the restoration of Colonial Williamsburg. Two motives thus drove the planners of the SBA Hospital, a regional wish to make a Nebraska-like statement on the land and a determination to evoke the American past, especially its victories of independence.

The latter model was Independence Hall, scene of the signing of the Declaration of Independence in Philadelphia. While the idea was "colonial," William Strickland's 1816 tower was imitated, not the original from the 18th century rotted since the Revolution down the architect. The

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adaptation is rather literal except in scale, of which the Tower Building is far larger than that at Independence Hall.

Notwithstanding the greatly enlarged scale, the architectural elements of the Georgian style as it appeared on Independence Hall appear in the design of the former hospital. The tower crown is a cupola, here a belvedere open as a viewing platform and not, as at Independence Hall, enclosed in louvers and used for ventilation. Within the richly detailed architectural shell were the modern facilities of a hospital, designed as utilitarian spaces to serve varied medical services. Of special interest on the interior were the workings of the great clock, which could be observed from below. It is the exterior of the hospital that is ornamental, a gift to the landscape and as memorable and arresting a piece of architecture as might be found anywhere. The Tower Building has the boldness of the skyscraper age, with the charm of a Norman Rockwell painting.

The inspiration to evoke Independence Hall was not unique. Built at the same time was Henry Ford's Edison Institute museum in Dearborn, Michigan, dedicated only months before the SBA hospital. Designed by Robert O. Derrick of Detroit, Ford's building is not sited for a river bluff, as is the Topeka building, but recedes into a village setting. The selection of the design was entirely in the hands of Henry Ford, who placed the building in his private outdoor museum, Greenfield Village. It is, however, a sister building to the SBA Hospital in Topeka. East High School, Denver, Colorado, is somewhat its clone. Completed in 1924, following a vaguely Independence Hall model greatly enriched in Renaissance neoclassical detailing, it boasted a 162 foot tower.

As institutional architecture, the SBA Hospital speaks of its era, as much as does Williamsburg or the patriotic monuments in all the states that are contemporaries of that important restoration. Nomination for listing in the National Register of Historic Places anticipates official recognition of a fine structure and confirmation of the preservation project yet to come.

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VERBAL BOUNDARY DESCRIPTION

The Security Benefit Association Hospital property is Tract 2, Block "A" in the proposed Menninger Foundation Subdivision, City of Topeka, Shawnee County, Kansas. This tract is situated in the Southwest quarter of Section 28, Township 11 south, Range 15 east of the sixth principal meridian, Shawnee County, Kansas. The tract boundary is shown by dotted lines on the accompanying map entitled "Tract 2, Block "A," Menninger Foundation Subdivision.

BOUNDARY JUSTIFICATION

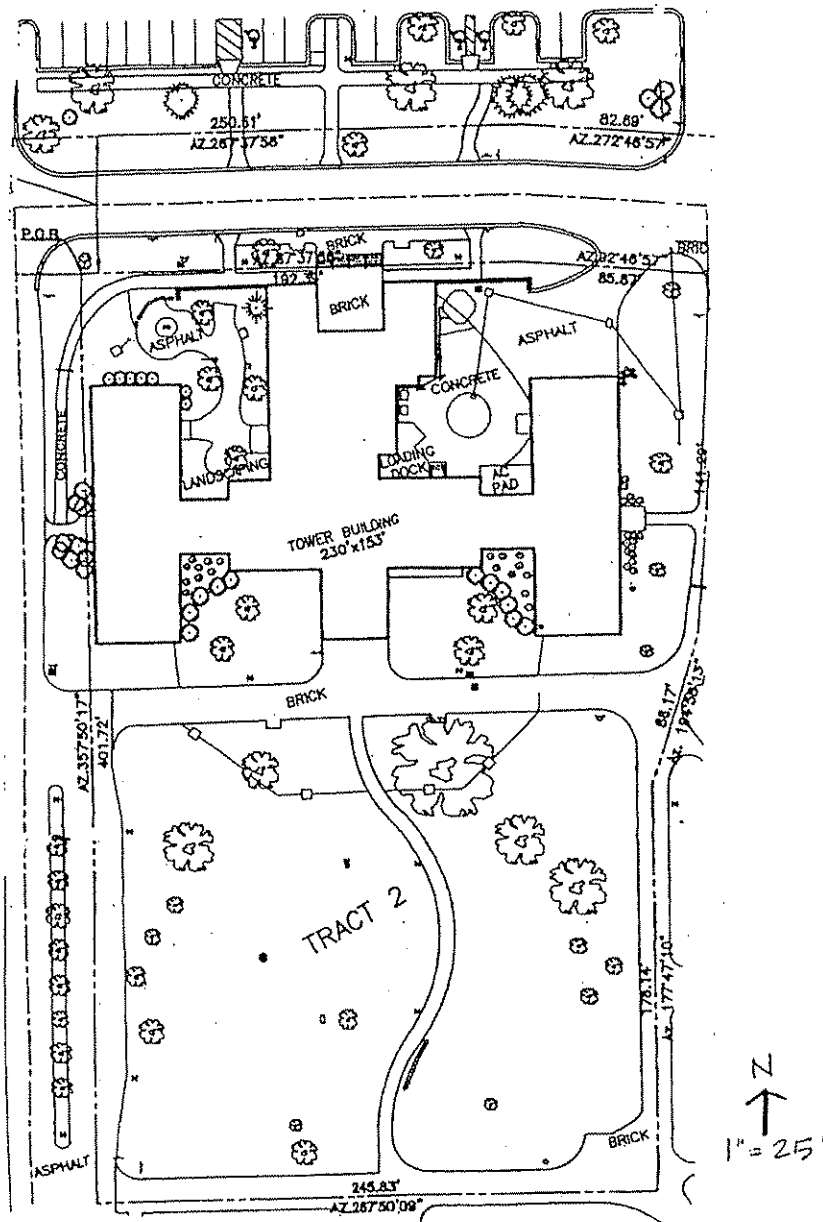
The boundary includes the Tower Building and landscaped grounds immediately adjacent that have historically been associated with the building and that maintain historic integrity. The additional acreage of the original SBA campus is excluded because this land is much changed physically and not presently associated with the Tower Building.

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Tract 2, Block "A," Proposed Menninger Foundation Subdivision
The subject property is bounded inside the dotted line.

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PHOTOGRAPHY

The following information is consistent for all photographs:

1. Security Benefit Association Hospital
2. Shawnee Co., Kansas
3. Photograph by Patrick Zollner
4. May 10, 2004
5. Negative on file at KSHS

The following information is specific to each photograph:

<u>Photo #</u>	<u>Description of View</u>
1.	View from the south
2.	View of tower from the southwest
3.	View of tower entrance from the south
4.	View from the southeast
5.	View from the east
6.	View from the northeast
7.	View from the north/northeast
8.	View from the north
9.	View from the northwest



1.7 MI. TO U.S. 75
GRANTVILLE 10 MI.

Security Benefit Association
Hospital
Shawnee Co., Kansas
UTM Coordinates:
15/261400/4327140

(TOPEKA)
6862 II SW



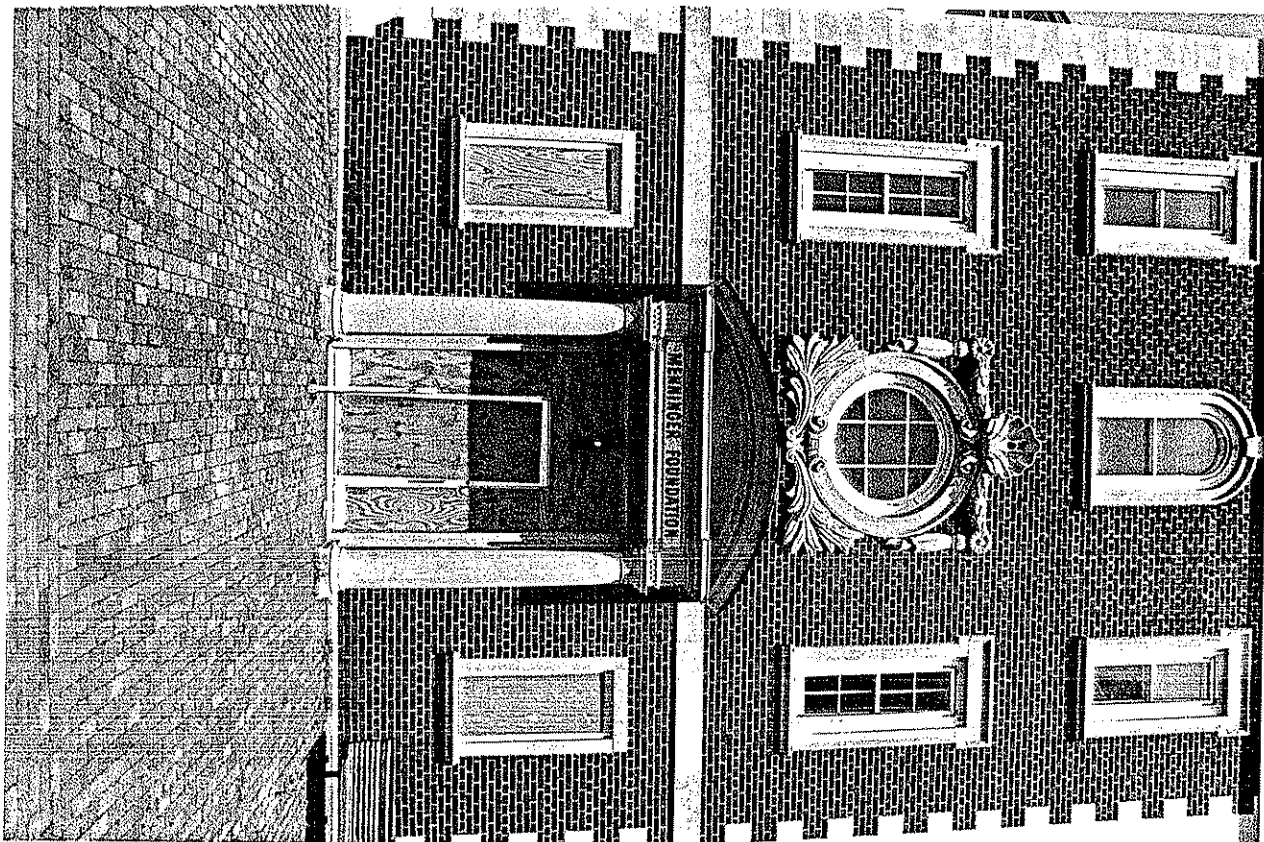
Security Benefit Association Hospital
Shawnee Co., Kansas

1



Security Benefit Association Hospital
Shawnee Co., Kansas

2



Security Benefit Association Hospital
Shawnee Co., Kansas

3



Security Benefit Association Hospital
Shawnee Co., Kansas

4



Security Benefit Association Hospital
Shawnee Co., Kansas

5



Security Benefit Association Hospital
Shawnee Co., Kansas

6



Security Benefit Association Hospital
Shawnee Co., Kansas

7



Security Benefit Association Hospital
Shawnee Co., Kansas

8



Security Benefit Association Hospital
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National Register of Historic Places Registration Form

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in National Register Bulletin, *How to Complete the National Register of Historic Places Registration Form*. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. **Place additional certification comments, entries, and narrative items on continuation sheets if needed (NPS Form 10-900a).**

1. Name of Property

Historic name Park Plaza Apartments

Other names/site number KHRI #177-4847

Name of related Multiple Property Listing Mid-Century Modern Non, Single-Family Residential Architecture in Topeka: 1945-1975

2. Location

Street & number 1275 SW Fillmore Street

n/a

not for publication

City or town Topeka

n/a

vicinity

State Kansas Code KS County Shawnee

Code SN

Zip code 66604

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act, as amended,

I hereby certify that this x nomination request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60.

In my opinion, the property x meets does not meet the National Register Criteria. I recommend that this property be considered significant at the following level(s) of significance:

 national statewide x local Applicable National Register Criteria: A B x C D

Signature of certifying official/Title Patrick Zollner, Deputy SHPO

Date

Kansas State Historical Society

State or Federal agency/bureau or Tribal Government

In my opinion, the property meets does not meet the National Register criteria.

Signature of commenting official

Date

Title

State or Federal agency/bureau or Tribal Government

4. National Park Service Certification

I hereby certify that this property is:

 entered in the National Register

 determined eligible for the National Register

 determined not eligible for the National Register

 removed from the National Register

 other (explain:)

Signature of the Keeper

Date of Action

Park Plaza Apartments

Name of Property

Shawnee, Kansas

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5. Classification

Ownership of Property

(Check as many boxes as apply.)

<input checked="" type="checkbox"/>	private
<input type="checkbox"/>	public - Local
<input type="checkbox"/>	public - State
<input type="checkbox"/>	public - Federal

Category of Property

(Check only **one** box.)

<input checked="" type="checkbox"/>	building(s)
<input type="checkbox"/>	district
<input type="checkbox"/>	site
<input type="checkbox"/>	structure
<input type="checkbox"/>	object

Number of Resources within Property

(Do not include previously listed resources in the count.)

Contributing	Noncontributing	
1	0	buildings
0	0	sites
1	0	structures
0	0	objects
2	0	Total

Number of contributing resources previously listed in the National Register

0

6. Function or Use

Historic Functions

(Enter categories from instructions.)

DOMESTIC: Multiple Dwelling

Current Functions

(Enter categories from instructions.)

DOMESTIC: Multiple Dwelling

7. Description

Architectural Classification

(Enter categories from instructions.)

MODERN MOVEMENT/International Style

Materials

(Enter categories from instructions.)

foundation: CONCRETE

walls: BRICK

roof: Built-Up Gravel

other: GLASS, WOOD

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Narrative Description

(Describe the historic and current physical appearance and condition of the property. Describe contributing and noncontributing resources, if applicable. Begin with a **summary paragraph** that briefly describes the general characteristics of the property, such as its location, type, style, method of construction, setting, size, and significant features. Indicate whether the property has historic integrity.)

Summary

Constructed in 1959 and designed by architects Carl G. Ossmann & Associates of Topeka, the Park Plaza Apartment building is an excellent representation of a post-World War II garden apartment designed in the International Style. Located between two historic neighborhoods in Topeka (Central Park and Holliday Park), the two-story T-shaped building is situated at the northwest corner of the intersection of SW Fillmore and SW 13th Streets. The building contains 14 apartments with varying floorplans. The building's massing; flat roof; groupings of ribbon windows with rectangular panels and canopy; blond brick construction; and overall lack of ornamentation are characteristic of the International Style of post-World War II Modern Movement architecture. The exterior remains unaltered since its construction and continues to convey the building's original design. The overall interior configuration remains largely intact. Character-defining features include the primary entryway and lobby, stairways, hallways, original plaster walls, and oak wood doors and flooring. The stairways retain original light fixtures – round globes hanging from the ceiling.

In some cases, individual apartments are remodeled with modern carpeting, cabinetry, and bathroom materials. However, several apartments retain their original arrangement of space, flooring, cabinetry, and pink-tiled bathrooms. The property includes a large, multi-car carport dating to the original apartment construction. The carport retains its original mid-20th century design, including a flat metal roof with wide overhanging eaves and decorative metal screen walls at each end.

Elaboration

Setting and Site:

The Park Plaza Apartment building is located at 1275 SW Fillmore Street in Topeka, Shawnee County, Kansas. The site is located approximately ¾-mile southwest of downtown Topeka. It is sited within the historic Throop's Addition, a portion of which comprises the Central Park Neighborhood and park to the south. The historic Holliday Park neighborhood is located to the north. The southern boundary of the property forms the northern side of Central Park. The park itself is located one block southwest of the Park Plaza Apartment. The apartment occupies the property at the northwest corner of the intersection of SW 13th Street and SW Fillmore Street within a predominantly single-family residential neighborhood. Surrounding this intersection are two additional contemporaneous garden apartment buildings, including the Central Park Apartments (KHRI #177-4846), which was designed in 1957 by Carl G. Ossman & Associates, the same architect who later designed the Park Plaza Apartment. The two buildings are nearly identical in their design and materials. Additional multi-family apartment buildings dating to the mid-20th century are located one- and two-blocks east of Park Plaza.

The residential streets are arranged in a gridded street plan and are characterized by relatively wide rights-of-way with mature street trees separating the road and concrete sidewalks. The streets are paved with stone curbing. SW Fillmore Street features historic brick paving. An alley is west of the property and conforms to the gridded street layout.

The Park Plaza Apartment building is oriented east toward SW Fillmore Street and does not deviate from the setback of its neighbors. The massing of the building with a T-shaped form where the side wings are significantly setback from the central block is compatible with the scale of the neighborhood, although larger than the individual single-family dwellings. While the surrounding residential neighborhoods generally date from the late-19th to early-20th century, the rapid post-War population growth of Topeka and the operations of nearby Forbes Air Base influenced the neighborhoods' built environment. A scattering of mid-20th century housing dots the neighborhood, including the collection of 1950s garden apartments surrounding the intersection and along nearby streets. The primary distinction of the Park Plaza Apartments when compared to the surrounding neighborhood, is its distinguishable Modernist design in form, fenestration, material, and overall lack of ornamentation. Its predecessor, the Central Park Apartments, shares this Modernist design.

The Park Plaza Apartment building is centrally located within a 0.57-acre grassed lot. A multi-car carport is located at the rear of the property, following along the rear alley. The detached carport (contributing resource) is separated from the apartment building by approximately 30 feet of grassed landscape with a few mature shade trees. A concrete sidewalk leads from the carport to a rear entry door of the apartment building. The building's primary entryway is inset and oriented to the southeast toward the corner of the intersection—concrete sidewalks at the corner form landscaping surrounding a

Park Plaza Apartments

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historic flagpole. At the northwest corner of the "square," a concrete sidewalk extends northwesterly to the principal entryway.

Exterior:

Constructed in 1959, the Park Plaza Apartment is T-shaped with a large central block projecting east and set back wings projecting to the north and south. All three ends of the building are characterized by large brick masses, whereas the remaining structure is characterized by large spans of windows. The northern wing is slightly shorter in width than the southern wing. The two-story building is reinforced-concrete construction with exterior walls of brick laid in a common bond pattern. The exterior brick is contrasting buff-colored and reddish-brown. The building has a flat roof of built-up gravel or asphalt with no overhangs at the brick masses. The building sits on a concrete basement foundation. The garden apartment is characterized by its groupings of window walls on the first and second floors. The window groupings are recessed and framed by wooden canopies extending slightly from the second-floor line and roof. The canopy mimics cantilevered design elements characteristic of Modernist architecture and features a wide wood fascia.

Central wing: The front façade (east) of the central block is four bays (W, 2W, 2W, W) on each floor. Windows are one-over-one, double-hung, horizontal wood sash with simple brick sills. The north and south elevations of the central block contain two windows with a recessed window wall where each floor has a projecting canopy above. The window walls are set at the junction of each projecting wing and contain five window units comprised of a large square fixed light with a rectangular awning window below. Above and below each window is a rectangular wood panel. The windows are wood-framed. Where the south elevation of the central wing meets the east elevation of the south wing is an angled and cornered canopy above a recessed entryway and a grouping of windows.

The primary entryway on the façade is slightly recessed. It features an original entry door with three horizontal lights. The door is flanked on either side by sidelights containing three large windows with heavy wood surrounds. Above the entry door and each sidelight is a rectangular wood panel. Above the entryway on the second floor, the fenestration is similar save but the entry door. Here, the central window is a glass louver. The cornered entry canopy is partially open, with vertical wooden boards span the opening. This design feature allows for a degree of natural lighting at the entrance.

North & South Wings: At the connection of the central and south wings, the five window walls on each floor match those on the central wing. South of the window walls on the east elevation's brick mass are two individual windows. Here, the north windows are square two-light awnings. With the exception of the recessed entryway, the north wing features a similar fenestration on its east elevation to that of the south wing.

The north and south elevations of the wings contain four single windows at each floor. The rear is characterized by a two-bay (W, W) slightly projecting brick bay flanked on either side by two sets of window walls (5 windows each with picture windows over awnings) separated by a brick wall. Directly north of the center projecting bay on the first floor is an exterior, glazed entry door that opens towards the carport.

Interior:

Shared interior spaces include the main entry lobby with original built-in mailboxes, two stairways, hallways, and a laundry room on the first floor. A sitting room occupies the public space above the entry lobby on the second floor. The finishes in the shared spaces are simple, with little to no ornamentation. Floors are carpeted, and walls and ceilings are plastered. The stairway railings are plastered balustrade walls topped by oak railings. Original light fixtures hang from the lobby and sitting room ceilings and feature a simple round shade suspended by thin metal rods. Hanging light fixtures in the stair halls are round globes also suspended by thin metal rods. The entry lobby features original built-in mailboxes, and the oak doors leading to each apartment contain the original attached metal apartment number. The small laundry room features original ceramic tile floors and a glazed tile base.

Park Plaza contains a total of 14 apartments, seven on each floor. Some of the individual apartments have undergone remodeling. The original layout and materials of the remodeled apartments may be altered. Apartments vary in size and configuration. Historically, each apartment was one or two bedrooms with a single bathroom, kitchen, and storage cabinets. The larger living rooms occupy the interior space opposite the sections of ribbon windows. The large windows provide ample natural lighting into the living room. Interior apartment doors are oak with oak frames. Similarly, kitchen cabinetry and full-height closet doors are stained oak. Flooring in the apartments is historically oak floorboards. In some instances, an individual apartment is carpeted. A unique feature of the apartments is the bathroom with pink, glazed

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ceramic tiling along the sink area and within the shower, as well as a pink ceramic sink. The overall interior design and configuration of the Park Plaza Apartments remains relatively unaltered, particularly within the shared spaces.

The basement of the building is accessed from the north wing. The stairs leading to the basement are concrete with a quarter-turn landing. The basement has concrete flooring and is used for storage units and electrical equipment. Historically, the building was heated by coal. The original coal bin door is located within the basement. Its small metal door reads "The Donley Brothers Co. Cleveland, Ohio."

Carport:

The existing rectangular carport is original to the 1957 construction of the Park Plaza Apartment building and is considered a contributing resource to the property. It was built to accommodate one car per apartment, for a total of 14 spaces. The one-story metal structure has a flat metal roof with wide overhanging eaves supported by metal posts. The carport is open on the long east and west sides. The short north and south ends of the carport feature metal screen walls.

Integrity:

Remarkably, the Park Plaza Apartment retains a high degree of historic integrity on both the interior and exterior. There are no known alterations to the exterior of the building or its historic site plan and arrangement of buildings. The exterior retains its character-defining features with the use of brick, long horizontal design and form, window walls, canopies, and flat roof. Original features in the interior are largely intact in common areas and many of the apartments. The interior shared space, such as the lobby, stairs and hallways, are slightly modified with the installation of carpeting atop the original hardwood floors. This modification is considered reversible, where the removal of the carpeting likely reveals the original flooring beneath.

Although permission to access the interior apartments is limited, much of the original materials and arrangement of space are intact. Several of the apartments have likely undergone remodeling that altered the interior space of the apartment, materials, and design. However, access to the interior of Apartment #23 reveals the original footprint and design features of the individual apartments. The building is in good condition. It retains a good degree of its historic integrity of **location**, **setting**, **feeling**, **materials**, **design**, and **workmanship**. It continues to serve as a multi-family garden apartment and, therefore, maintains its historic **association**.

Mid-Century Modern, Non, Single-Family Residential Architecture in Topeka: 1945-1975:

The Park Plaza Apartment building is classified as a "Multi-Family Apartment Building" associated property type as defined in the *Mid-Century Modern, Non, Single-Family Residential Architecture in Topeka: 1945-1975* MPS and clearly conveys the defining characteristics of post-World War II Modern apartment buildings. The Park Plaza Apartment meets the general requirements defined in the MPS. The two-story building was constructed in 1957 as a multiple dwelling having 14 apartments with the T-shaped garden apartment building. The building retains its exterior massing, unique configuration, and design elements characteristic of the International Style. The Park Plaza Apartment is nominated to the National Register of Historic Places under the *Mid-Century Modern, Non, Single-Family Residential Architecture in Topeka: 1945-1975* Multiple Property Documentation Form as a representative example of the *Multi-Family Apartment Building* Property Type and is an intact and well-preserved illustration of post-World War II Modernist multi-family architecture.

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8. Statement of Significance

Applicable National Register Criteria

(Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing.)

- ☐ A Property is associated with events that have made a significant contribution to the broad patterns of our history.
- ☐ B Property is associated with the lives of persons significant in our past.

- ☒ C Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.

- ☐ D Property has yielded, or is likely to yield, information important in prehistory or history.

Criteria Considerations

(Mark "x" in all the boxes that apply.)

Property is:

- ☐ A Owned by a religious institution or used for religious purposes.
- ☐ B removed from its original location.
- ☐ C a birthplace or grave.
- ☐ D a cemetery.
- ☐ E a reconstructed building, object, or structure.
- ☐ F a commemorative property.
- ☐ G less than 50 years old or achieving significance within the past 50 years.

Areas of Significance

ARCHITECTURE

Period of Significance

1959

Significant Dates

Significant Person

(Complete only if Criterion B is marked above.)

Cultural Affiliation

Architect/Builder

Architect, Carl G. Ossman & Associates

Period of Significance (justification)

The period of significance for the Park Plaza Apartments is 1957 – the building's date of construction.

Criteria Considerations (justification)

None

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Narrative Statement of Significance

(Provide a summary paragraph that includes level of significance, applicable criteria, justification for the period of significance, and any applicable criteria considerations.)

Summary

Constructed in 1959, the Park Plaza Apartments at 1275 SW Fillmore Street in Topeka is nominated to the National Register of Historic Places under Criterion A in the area of Community Planning and Development as an intact illustration of garden apartments constructed to accommodate an record population growth during the post-World War II era. While several mid-20th century suburban neighborhoods developed throughout the City as the corporate limits expanded westward and southward, a handful of apartment buildings were erected within the earlier neighborhoods. Among those neighborhoods is the Throop's Addition in central Topeka, just southwest of downtown, which began development in the late-19th century. Park Plaza Apartments is also a rare example of a private residential cooperative to be formed by a small group of wealthy Topekans in the 1950s. The three known cooperatives (Park Plaza, Central Park (KHRI #177-4846), and Lakeside Apartments) partnered with architectural firm Osmann & Associates to design the luxury apartments.

Also, Park Plaza Apartments is eligible for Criterion C in the area of Architecture as an excellent representation of the International Style that dominated post-World War II design across the United States. The two-story garden apartment is characterized by its brick exterior, flat roof and sprawling, T-shaped form. Its rows of ribbon windows framed by cantilevered canopies and the overall lack of ornamentation further reflect the International Style principles of the Modern Movement in architecture. The apartment building is recognized as an excellent representation of garden apartments designed by established Topeka architects Ossman & Associates.

The Park Plaza Apartments is nominated to the National Register of Historic Places under the *Mid-Century Modern, Non, Single-Family Residential Architecture in Topeka: 1945-1975* Multiple Property Documentation Form (Destefano, 2020) as a representation of a *Multi-Family Apartment Building* Property Type. It is significant under Criteria A and C as a low-rise apartment building in the Throop's Addition that is indicative of the City's impressive post-War population growth and expansion. It is a well-preserved illustration of a garden apartment incorporating Modernist design elements, specifically the International Style. It is further significant as a rare surviving example of a private apartment cooperative in Topeka.

Elaboration

Neighborhood History

The City of Topeka was first settled in the winter of 1854 when Cyrus K. Holliday and Charles Robinson traveled along the Kansas River in search of a new site for a second Kansas colony. An ideal location for the future colony was discovered on a low bluff on the south side of the Kansas River. The settlement was named Topeka, which was incorporated as a city on February 14, 1857, with a population of 450 residents. The following year, the county seat was moved from Tecumseh to Topeka, and in 1861, the city became the permanent location of the state capital.¹

Throughout the late-19th and early-20th centuries, the city limits expanded outward as small villages, neighborhoods, and undeveloped areas were annexed into the city. By 1890, the city's population exceeded 35,000 residents, with new streetcar suburbs emerging across the city. Among the early additions to the city was Throop's Addition, a residential suburb that first occurs on Sanborn Fire Insurance Maps by 1889. The Throop's Addition is located one block southwest of the Holliday Park neighborhood (NR-Listed 2002), which began development in the 1880s. Throop's Addition extended west and southwest to include the impressive 15-acre Central Park. Plans for the park began in 1899 when the property was sold to the City by Dr. John McClintock. Throop's Addition quickly experienced significant development as a streetcar suburb of Topeka. It extended the gridiron street layout of the earlier surrounding neighborhoods. Streets were characterized by brick paving and stone curbing lined by sidewalks with planted trees. Trolleys once ran along the

¹ Susan Ford, "Country Club Addition Neighborhood Historical Survey and Report," prepared for the City of Topeka, Kansas, March 5, 2018.

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residential streets, connecting the neighborhood to downtown Topeka. Throop's Addition was developed primarily by single-family, middle- to -upper-middle-class dwellings enjoying spacious lots. Among the most notable dwellings within the neighborhood is the Chester B. Woodward House (KHRI 177-5400-0561, NRHP-listed 1992), completed in 1924 at 1272 SW Fillmore Street. The impressive Tudor Revival houses is across the street from Park Plaza Apartments. The Throop's Addition continued to develop throughout the early-20th century and was nearly fully built out by World War II.

Following World War II, Topeka experienced an unprecedented period of population growth and expansion. A number of factors contributed to this dramatic increase. Nationwide, the period from 1945 to 1975 was considered a "boom for single-family residential construction, suburbanization, and the realization of the American dream of home ownership."² Between 1945 and 1954, more than 13 million houses were constructed across the country. Among those, 80% were built in the suburbs of metropolitan areas and only 20% within cities.³ This housing boom was stimulated in part by affordable mortgages for returning veterans. At the same time, the jump in post-war births, known as the "baby boom," catapulted the national population. Such is Topeka's case where its adjacent suburbs continued to strengthen and were absorbed into the City's corporate limits.

In 1944, the city's economy was given another boost when the Goodyear Tire and Rubber Company built an impressive plant in North Topeka. The presence of the Forbes Air Base south of downtown from the late-1940s through the 1960s further contributed to the population growth and renewed expansion and annexation of Topeka's residential sectors. By 1950, the corporate limits of Topeka encompassed 12.5 square miles, with the population reaching 78,791.⁴ An "annexation fever" swept across Topeka during the 1950s, more than doubling the area of the City to 36.4 square miles in 1960.⁵

In response to the ever-increasing population, low-rise apartment buildings were built throughout the city, particularly in the developing suburbs. In some instances, such as that of Park Plaza, apartment buildings were built in older neighborhoods characterized by late-19th and early-20th century single-family residences. These earlier neighborhoods generally lacked driveways, with rear alleyways providing access to secondary structures such as carriage houses and garages. It was not until the post-War years when automobile ownership skyrocketed that integral garages and driveways were introduced. Thus, in an effort to maintain the historic aesthetic of the neighborhood and avoid on-street parking, a large carport was sited alongside the rear alley.

A small collection of 1950s and 1960s low-rise apartment buildings are located within the vicinity of the Park Plaza Apartments. These include the Central Park Apartments (1957; KHRI #177-4846) at the southwest corner of the intersection of SW 13th and SW Fillmore Streets; the former Cowan Apartments (1963; KRHI #177-4845) at the southeast corner of the same intersection; and the Kevin Arms Apartments (1967; KHRI #177-3326) at 1221 SW Western Avenue. The siting of these apartment buildings suggests that this area of the Throop's Addition was facing development pressures resulting from the rapid post-War population boom. They also suggest that the earlier dwellings which they replaced were in a declining condition. In siting these apartments here, the overall make-up of this area of the neighborhood changed from single-family to a combination of both single-family dwellings and multi-family apartments.

Private Cooperative Housing

Housing cooperatives are collectively owned and managed by their residents, who own shares in a nonprofit corporation. The corporation generally holds the title to the property and grants proprietary leases to residents. Prospective purchases to own shares in the property must be approved by the co-op board. Oftentimes, the cooperative examines income-to-debt ratios of potential buyers and may conduct background checks. When a member of the co-op decides to sell their

² Emily Pettis, et al., *A Model for Identifying and Evaluating the Historic Significance of Post-World War II Housing*, Washington, DC: Mead & Hunt for the Transportation Research Board, 2013; p.49.

³ Kenneth T. Jackson, *Crabgrass Frontier. The Suburbanization of the United States*, New York: Oxford University Press, 1985; p.283.

⁴ Topeka Capital-Journal, "Topeka at 150: Celebrating the Sesquicentennial of the Capital City of Kansas," *Topeka Capital-Journal*, 2004.

⁵ Topeka Capital-Journal, "Topeka at 150: Celebrating the Sesquicentennial of the Capital City of Kansas," *Topeka Capital-Journal*, 2004.

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shares, the board must approve the buyer prior to the sale. The board can reject applicants due to their finances or a refusal to abide by the association's rules and regulations.⁶

The first housing cooperatives started in New York City in the late-1800s. The early cooperative dwellings were marketed towards citizens in high-income brackets who "wanted the advantages and economies of individual home ownership without all of the responsibilities."⁷ By 1925, housing cooperatives had been constructed in sixteen cities in the United States, the majority of which were high-income. Prior to the days of "fair housing laws," it was "not uncommon for cooperatives to reject membership to persons who were perceived not of the right racial, ethnic, or religious background."⁸

The Stock Market crash in 1929 brought about the near standstill of the cooperative movement in the United States. The luxury cooperatives were hit especially hard due to excessive mortgaging and promoter profits, as well as high vacancy rates. Generally, the more affordable lower income cooperatives survived the Depression. Following World War II, the economy was booming. One significant change in the post-War years with the enactment of Section 216 of the IRS code in 1942 allowed income tax deductions for mortgage interest and property taxes for cooperative members.⁹ A resurgence of upper/middle-income co-ops nationwide following World War II. The National Housing Act of 1950 insured blanket mortgages held on cooperatives and rental communities. That same year, Section 213 was added to include middle-income cooperatives. The legislation spurred the formation of approximately 45,000 cooperative units nationwide.¹⁰

Topeka's tremendous population growth during the post-War years and outward suburban expansion spurred the development of small middle-class cooperatives throughout the city. Three known cooperatives were formed during the 1950s, including the Central Park Apartments in 1957, Lakeside Apartments in 1958, and the Park Plaza Apartments in 1959. A newspaper article in 1959 announces the construction of the Park Plaza Apartments:

"Construction of a \$250,000 co-op apartment building at 1275 Fillmore is scheduled to begin in early October. Carl G. Ossman, Topeka architect, is designer and developer of the project. Ossman said the new building is being constructed in response to a demand for more cooperative housing in Topeka. The 14 units will be of the 'own-your-own' type. Under this cooperative plan, each tenant owns his apartment and contributes a fee monthly toward the up-keep of the building and grounds. Funds are handled by an elected board of directors."

– *Topeka State Journal* July 18, 1959

Park Plaza Apartments, Inc. was incorporated on September 9, 1959, as a nonprofit organization with the purpose to provide "housing on a nonprofit basis, and, in pursuance thereof, to acquire, own, improve, develop, operate, manage, sell, convey, pledge, assign, mortgage, lease or rent any real estate and any personal property."¹¹ According to the articles of incorporation, the organization was incorporated by five individuals: Fred C. Noller, W. B. Case, Mary W. Strain, Mary L. Marsh, and Carl G. Ossmann. Ossmann was also recognized as the Registered Agent for the organization. An affidavit dated August 22, 1961, indicates that Carl Ossmann was sworn in as treasurer of Park Plaza. Carl G. Ossmann is not only a founder of the Park Plaza co-op but is recognized as the lead architect for the three known cooperative apartment buildings constructed in Topeka in the 1950s. It is presumed that Ossmann thus had shares in all three of the co-ops during their early years.

Following its incorporation, the Park Plaza Apartment building began construction on a site located directly across SW 13th Street from the Central Park Apartment cooperative. The building site is a tract of land once occupied by the three-story home of Marcus A. Low, general attorney for the Union Pacific railway. The home was built in 1902. It was later

⁶ Lester Davis, "Condo vs. co-op: Know the differences before buying one," *The Washington Post*, 31 January 2018.

⁷ "A History of Housing Cooperatives," National Cooperative Law Center, <http://nationalcooperativelawcenter.com/national-cooperative-law-center/the-history-of-housing-cooperatives/3/> accessed July 2020.

⁸ "A History of Housing Cooperatives," National Cooperative Law Center, <http://nationalcooperativelawcenter.com/national-cooperative-law-center/the-history-of-housing-cooperatives/3/> accessed July 2020.

⁹ "A History of Housing Cooperatives," National Cooperative Law Center, <http://nationalcooperativelawcenter.com/national-cooperative-law-center/the-history-of-housing-cooperatives/3/> accessed July 2020.

¹⁰ *Ibid.*

¹¹ Certificate of Articles of Incorporation, Park Plaza Apartment, Inc. 9 September 1959.

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purchased in 1937 by Topeka criminal lawyer, Edward Rooney where he lived until his death in 1956. The home was in a state of disrepair and was razed. Some of its building materials were salvaged prior to its removal (see Page 25).¹²

According to former co-op shareholder Paul Prece, shareholders must meet an age requirement of at least 55 years; no pets of any kind are permitted in the building, and carpeting is required on the second floor to lessen unwanted noise on the first floor. Apartments were intended as "luxury apartments," each containing two bedrooms, a living room, kitchen, and bathroom (see Figure H).¹³ As the building was a direct result of the formation of the co-op, residents/shareholders were able to choose added amenities to their apartments. Such upgrades might include a fireplace or specific hardware. For example, one resident requested that a fireplace salvaged from the former Rooney House be installed in their apartment.¹⁴

The Park Plaza Apartment has remained a private housing cooperative since its incorporation in 1959. While residents and shareholders have come and gone over the years, the cooperative maintains an executive board of five members, and all members are given equal say in approval of future shareholders. According to former resident and President Paul Prece, Park Plaza conveys a sense of a "big house" and "community." Among the three known contemporaneous co-ops in Topeka, Central Park and Park Plaza are sited adjacent to one another in a central Topeka neighborhood that is generally characterized by its late-19th and early-20th century single-family housing. The Lakeside Apartment cooperative was erected in a west Topeka neighborhood that developed as a post-World War II suburb. Lakeside no longer operates as a co-op, having recently been used as a nursing home. All were designed by Topeka architect Car. G. Ossmann.

Architecture

Topeka boasts an impressive collection of Modernist architecture, including a wide range of building types and distinct stylistic influences. The multitude of Mid-Century Modern buildings in Topeka is attributed not only to the "annexation fever" of the post-war period but also the 1951 Flood, an F-5 tornado that destroyed much of the City in 1966, and Urban Renewal programs. Collectively, these four events greatly impacted the City's built environment, with much of the new construction adopting the popular Modernist principles. The Park Plaza Apartment survives as a well-preserved illustration of a Modernist low-rise apartment building constructed within an historic neighborhood amongst late-19th and early-20th century single-family houses. It is a superb example of the International Style applied to a multi-family apartment building.

Modern Architecture, or Mid-Century Modern, might be considered an umbrella term used for resources sharing characteristics commonly occurring in post-World War II American architecture, particularly in commercial and institutional buildings. Changes in construction methods, materials, and styles characterized post-World War II era architecture nationwide. Modernist architecture is based on the rational use of modern materials, functionalist planning, and the rejection of historical precedents. Among the common design elements characterizing Mid-Century Modern architecture is the general rejection of ornamentation and references to the past. Building materials and methods reflect technological advancements of the age and emphasize function over form, and "design based on expressing structure and use."¹⁵

Modernist architecture would "convey meaning by the very lack of ornament."¹⁶ It was an era marked by a transformation from classical symbolism and masonry massing towards steel and glass construction to "celebrate innovation, freedom, and flexibility."¹⁷ Although references to the past were generally avoided, classical traditions often endured or evolved.

Modernism has its roots in the International Style as it evolved in Europe during the 1920s. Modernism grew out of the art and architectural reform movements that came together in the Bauhaus School of Design in Weimer, Germany. The Bauhaus sought to steer artists and architects towards "building of the future." This philosophy carried strong associations

¹² Park Plaza Apartments, Inc. historical flyer.

¹³ Paul Prece. Telephone Interview. Interviewer – Jaime Destefano, July 2020.

¹⁴ Park Plaza Apartments, Inc. historical flyer; AND Interview with Jane Nichols, co-op shareholder. August 4, 2020.

¹⁵ Peter Meijer Architect, "Thematic Survey of Modern Movement Non-Residential Architecture, 1945-1975, in St. Louis City," City of Saint Louis Cultural Resources Office, 2013; p.14.

¹⁶ Rifkind p.104

¹⁷ Rifkind p.104.

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with political reforms, socialism, and mandates to embrace the machine age.¹⁸ It was not until the Post-World War II era that American architects began embracing Modernism. According to Meghan Hogan's *The Future of Modern*, the Movement was a "salute to the postwar era itself, spearheaded by architectural giants such as Mies van der Rohe, Eero Saarinen, and Philip Johnson. At the height of its popularity, the sweeping curves, sheets of glass, and absence of ornament signaled change."¹⁹

The International Style was popular nationwide from the 1940s through the 1970s, becoming the standard for American commercial and institutional design.²⁰ The style emphasized technology and expression of construction methods, materials, exposed structural elements, and simplicity of form. It is from the International style that other Modernist styles, or sub-styles, are derived. The majority of Modernist buildings in Topeka reflect some degree of International Style design features. Identifying features of the International style include the following:

- Modern structural principles and materials: concrete, glass, and steel
- Occasional skeleton-frame construction, exposing its structure
- Rejected non-essential decoration
- Juxtaposition of materials
- Ribbon windows and corner windows
- Glass curtain walls and window walls
- Balance and regularity
- Flat roof, without overhangs
- Metal mullions and smooth spandrel panels separating large, single-pane windows between floors

Constructed in 1959, the Park Plaza Apartments is a classic example of the International Style. The two-story building is constructed of reinforced concrete with a brick exterior. It features a flat roof and an overall emphasis on horizontal lines. While the building form is a traditional T-shape with a central block and flanking wings, the angled main entryway at the juncture of the central block and south wing reflects Modernist inspiration. The building lacks exterior ornamentation and is best characterized by its horizontal bands of windows framed by cantilevered canopies on each floor. The ribbon windows are nearly full height on each floor and feature spandrel panels and lower horizontal hopper windows – classic International Style design features. While the Modern Movement window framing systems were most often metal, the windows at Park Plaza Apartments feature wood sash and wood frames. According to an artist rendering of the building, the architect intended that the secondary windows (those not part of the ribbon windows) to be comprised of three horizontal lights. However, according to a photograph immediately following the 1966 tornado, which caused minimal damage to the building, the windows were the same as those occurring today and are historic.

Another unique design feature of the building is its angled entryway flanked by wide multi-light transoms and a multi-light curtain wall above. Additionally, the entryway features a prominent cantilevered canopy that extends above a wide entry stoop. The International Style was often considered stark and unappealing to later generations, yet the Park Plaza Apartments features additional "touches" that contribute to its aesthetically pleasing design.

While Topeka boasts a large collection of International Style buildings, only a small number of low-rise apartment buildings employ the use of International Style design principles. Designed by the same architect, the neighboring Central Park Apartments shares a similar exterior design; however, it is believed to have undergone substantial interior remodeling. The third co-op apartment building, Lakeside Apartments, is located in west Topeka in a mid-20th century neighborhood. The former co-op was dissolved, and the building was recently used as a nursing home facility. While the three buildings are remarkably similar in their exterior design, the Park Plaza Apartment retains a higher degree of integrity on the interior.

¹⁸ Jonathan and Donna Fricker, "Oil and Gas Building National Register of Historic Places Nomination Form," National Park Service, 2013; page 8.

¹⁹ Megan Hogan, "the Future of Modern: Federal Architecture in an Era of Change," in *Common Ground* (Spring 2009), p.28

²⁰ Jonathan and Donna Fricker, "Louisiana Architecture: 1945-1965, Modernist Triumphant – Commercial and Institutional Buildings, September 2009, revised February 2010.

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Carl G. Ossmann & Associates (1911-2002)

Carl Ossmann & Associates of Topeka designed a number of buildings statewide during the mid-20th century, including a handful of institutional buildings and garden apartments. In addition to the Park Plaza, Central Park, and Lakeside Apartments in Topeka, the firm also designed the Quinton Heights Elementary School (KHRI #177-2117) in 1953 in Topeka. The school was designed in the International Style and is a sprawling one-story brick building with rows of windows. Another known school designed by Ossmann & Associates is the Baileyville Highschool in Nemaha County (KHRI #131-218) in 1952. The school is yet another illustration of the firm's preference for the International Style during the 1950s. Carl Ossmann is also known to have designed the Flint Hills Rural Electric Cooperative headquarters in Council Grove, Kansas (1959-1960). Ossman dabbled in the Googie Style in the entry of the otherwise International Style Boogarts Grocery in Abilene, Kansas (1966) and is known to have designed several stores for this chain in Kansas.²¹ Later in his career, he designed the 79-bed nursing facility (1970) at the Topeka Veteran's Administration hospital.²² Ossmann was a prolific architect throughout the state, and he briefly assumed the temporary position of acting state architect in September 1977, a position he held until August of 1978.²³

Summary

The Park Plaza Apartments is eligible for listing in the National Register of Historic Places under Criterion A in the area of Community Planning and Development. Its construction in 1959 within a late-19th and early-20th century neighborhood speaks toward the need to accommodate a rapidly growing post-War population in Topeka. In response to a growing demand for more cooperative housing in Topeka, architect, and developer, Carl G. Ossmann spearheaded the formation of the Park Plaza Apartment cooperative and two others in Topeka the 1950s. Park Plaza Apartments is also significant under Criteria C for Architecture. The building remains in its original location and retains its historic integrity and character-defining features. Further, the building is a well-preserved illustration of a Mid-Century Modern, low-rise apartment in Topeka that draws upon the International Style. The building meets the eligibility requirements for multi-family apartment buildings as outlined in the *Mid-Century Modern, Non, Single-Family Residential Architecture in Topeka*.

²¹ David H. Sachs and George Ehrlich, *Guide to Kansas Architecture* (Lawrence, KS: University Press of Kansas, 1996) p.174.

²² "Ossman is Architect for Flint Hills Reca," *Council Grove Republican* (Council Grove, Kansas), 3 April 1959; AND "New VA Long-Term Nursing Home on Tap," *The Marysville Advocate*, 30 July 1970.

²³ Mercury News Service, "Cool Appointed Acting Architect," *The Manhattan Mercury* (Manhattan, Kansas), 9 August 1978.

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9. Major Bibliographical References

Bibliography (Cite the books, articles, and other sources used in preparing this form.)

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Mercury News Service, "Cool Appointed Acting Architect," *The Manhattan Mercury* (Manhattan, Kansas), 9 August 1978.

"New VA Long-Term Nursing Home on Tap," *The Marysville Advocate*, 30 July 1970.

Nichols, Jane – Cooperative President. Interview by the author, Jaime Destefano. August 4, 2020.

"Ossman is Architect for Flint Hills Reca," *Council Grove Republican* (Council Grove, Kansas), 3 April 1959

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Pettis, et al., *Emily A Model for Identifying and Evaluating the Historic Significance of Post-World War II Housing*, Washington, DC: Mead & Hunt for the Transportation Research Board, 2013.

Prece, Paul – former co-op President. Interview by the author, Jaime Destefano. July 2020.

Topeka Capital-Journal, "Topeka at 150: Celebrating the Sesquicentennial of the Capital City of Kansas," *Topeka Capital-Journal*, 2004.

Previous documentation on file (NPS):

☐ preliminary determination of individual listing (36 CFR 67 has been requested)
☐ previously listed in the National Register
☐ previously determined eligible by the National Register
☐ designated a National Historic Landmark
☐ recorded by Historic American Buildings Survey # _____
☐ recorded by Historic American Engineering Record # _____
☐ recorded by Historic American Landscape Survey # _____

Primary location of additional data:

☒ State Historic Preservation Office
☐ Other State agency
☐ Federal agency
☐ Local government
☐ University
☐ Other
Name of repository: _____

Historic Resources Survey Number (if assigned): KHRI 177-4847

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10. Geographical Data

Acreage of Property Less than one

Provide latitude/longitude coordinates OR UTM coordinates.

(Place additional coordinates on a continuation page.)

Latitude/Longitude Coordinates

Datum if other than WGS84: _____

(enter coordinates to 6 decimal places)

1	<u>39.043004</u>	<u>-95.689697</u>	3	_____	_____
	Latitude:	Longitude:		Latitude:	Longitude:
2	_____	_____	4	_____	_____
	Latitude:	Longitude:		Latitude:	Longitude:

OR

UTM References

_____ NAD 1927 or _____ NAD 1983

_____	_____	_____	3	_____	_____	_____
Zone	Easting	Northing		Zone	Easting	Northing
_____	_____	_____	4	_____	_____	_____
Zone	Easting	Northing		Zone	Easting	Northing

Verbal Boundary Description (describe the boundaries of the property)

Located in the Throop's Addition in the central Topeka, Lot 511 at Fillmore Street, including lots 513, 5151, 517, 519, and 521 in Section 1, Township 12, Ranger 15. Beginning at the northeast corner of the property at SW Fillmore Street, thence in a southerly direction 152 feet, thence westerly 160 feet. The boundary then continues in a northerly direction for approximately 152 feet. The boundary then travels 160 feet in an easterly direction along to the point of beginning.

Boundary Justification (explain why the boundaries were selected)

The nominated boundary includes the entire parcel, which is historically associated with the Park Plaza Apartment.

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11. Form Prepared By

name/title Jaime L. Destefano, MSHP
organization JLD Preservation Consulting LLC date August 5, 2020
street & number PO Box 445 telephone 404-694-2066
city or town Fentress state TX zip code 78622
e-mail JLD.PreservationConsulting@gmail.com

Property Owner: (complete this item at the request of the SHPO or FPO)

name Park Plaza Apartments, Inc.; Jane Nichols Representative
street & number 701 SW Gage Blvd. telephone 785-608-2759
city or town Topeka state Kansas zip code 66604

Paperwork Reduction Act Statement: This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C.460 et seq.).

Estimated Burden Statement: Public reporting burden for this form is estimated to average 100 hours per response including time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Office of Planning and Performance Management, U.S. Dept. of the Interior, 1849 C. Street, NW, Washington, DC.

Additional Documentation

Submit the following items with the completed form:

Photographs

Submit clear and descriptive photographs. The size of each digital image must be 1600x1200 pixels (minimum), at 300 ppi (pixels per inch) or larger. Key all photographs to a sketch map or aerial map. Each photograph must be numbered and that number must correspond to the photograph number on the photo log. For simplicity, the name of the photographer, photo date, etc. may be listed once on the photograph log and doesn't need to be labeled on every photograph.

Photograph Log

Name of Property:	Park Plaza Apartments
City or Vicinity:	Topeka
County: Shawnee	State: Kansas
Photographer:	Jaime Destefano, MSHP
Date Photographed:	November 11, 2019

Description of Photograph(s) and number, include description of view indicating direction of camera:

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- 1 of 20. Front Façade (South Elevation), photographer facing north
- 2 of 20. Front Façade (South Elevation), photographer facing north
- 3 of 20. Southeast Oblique, photographer facing northwest
- 4 of 20. Southwest Oblique, photographer facing northeast
- 5 of 20. Northwest Oblique, photographer facing southeast
- 6 of 20. North Elevation, photographer facing south
- 7 of 20. East Oblique, photographer facing northwest
- 8 of 20. Raised Plant Beds along Front Façade (south elevation), photographer facing west
- 9 of 20. Rear patio, stone retaining wall, and stone bridge, photographer facing northeast
- 10 of 20. Interior reception, photographer facing northeast
- 11 of 20. Interior reception and waiting lobby, photographer facing southeast
- 12 of 20. Conference Room, photographer facing southeast
- 13 of 20. Front Office, photographer facing southeast
- 14 of 20. Drafting Room, photographer facing northwest
- 15 of 20. Drafting Room, photographer facing east
- 16 of 20. Drafting Room, photographer facing southwest
- 17 of 20. Work Room Cabinetry, photographer facing southwest
- 18 of 20. Hall and Kitchenette, photographer facing northeast
- 19 of 20. Basement, photographer facing northwest
- 20 of 20. Basement – Modern Kitchen and Small Room Additions, photographer facing south

Figures

Include GIS maps, figures, scanned images below.

- a. Architect Rendering
- b. Topographic Map
- c. Enlarged Topographic Map
- d. Aerial Map
- e. Enlarged Aerial Map with Building Coordinates
- f. Site Plan showing Exterior Photograph Locations
- g. Interior Floor Plan with Photograph Locations
- h. Floor Plan of Typical Apartment
- i. Park Plaza Apartments, Inc Information and Articles of Incorporation

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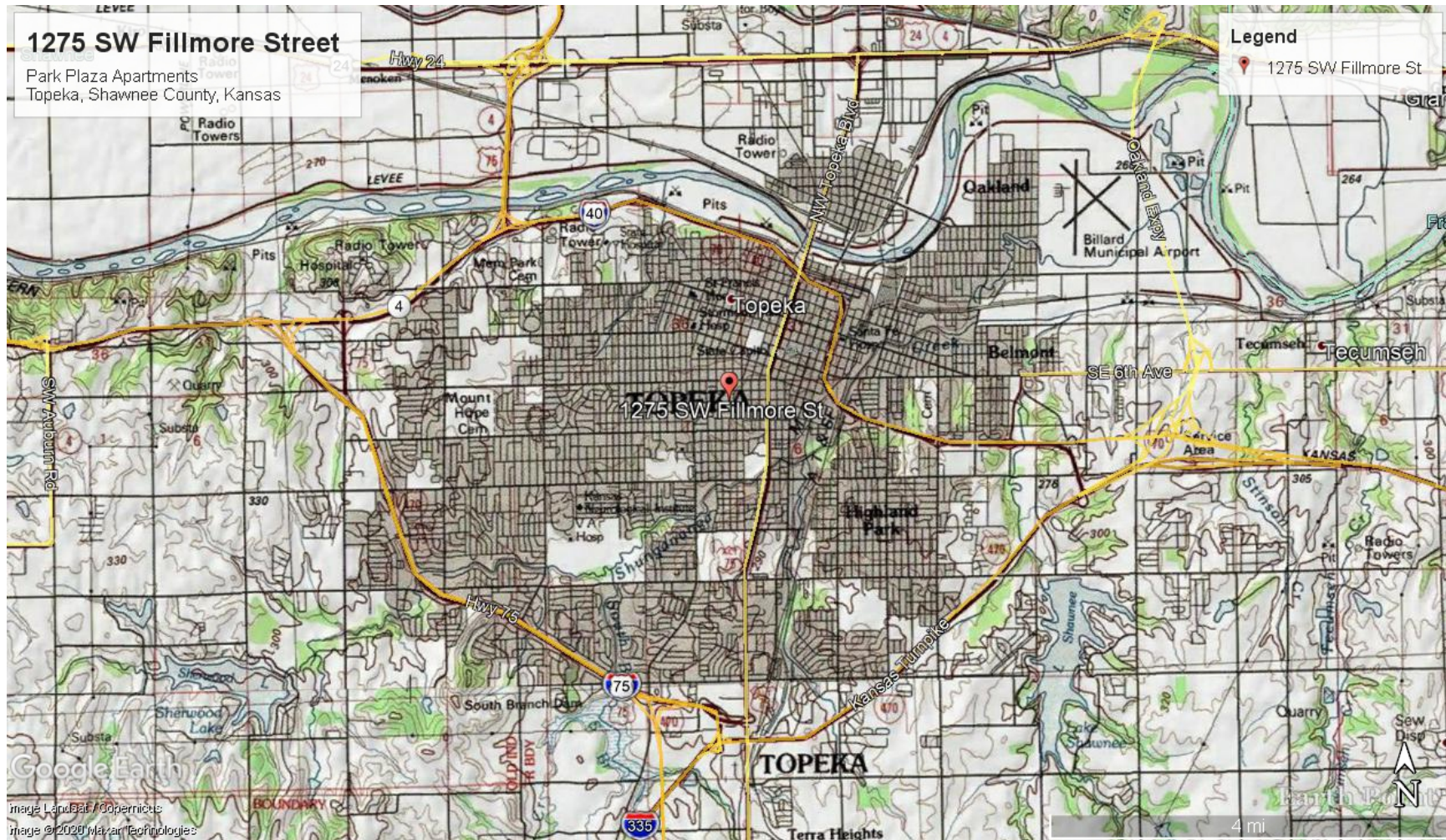
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Figure 1. Architect Rendering of Park Plaza Apartments, 1959

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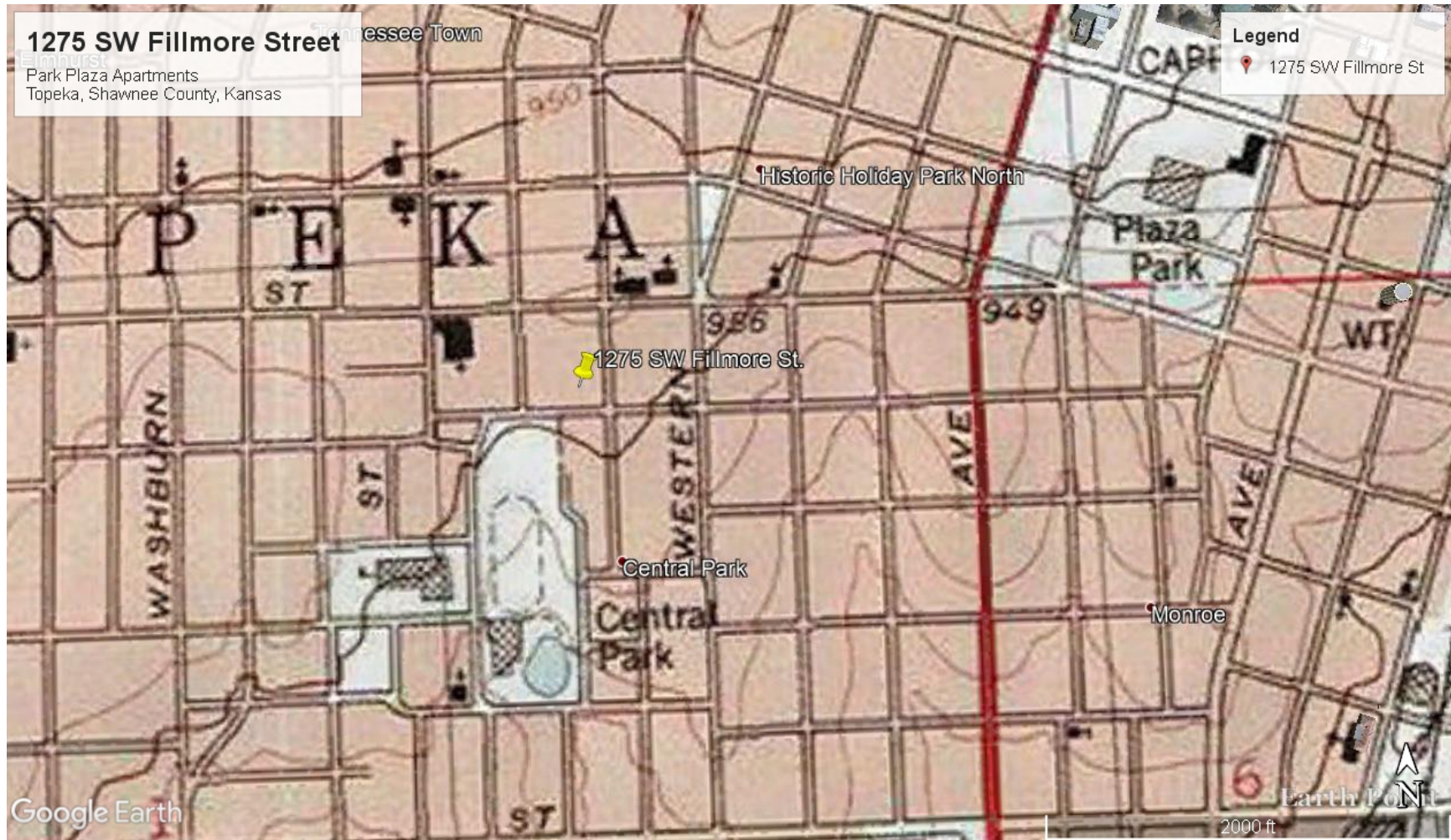
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B. Topographic Map – Overview

Park Plaza Apartments
Name of Property

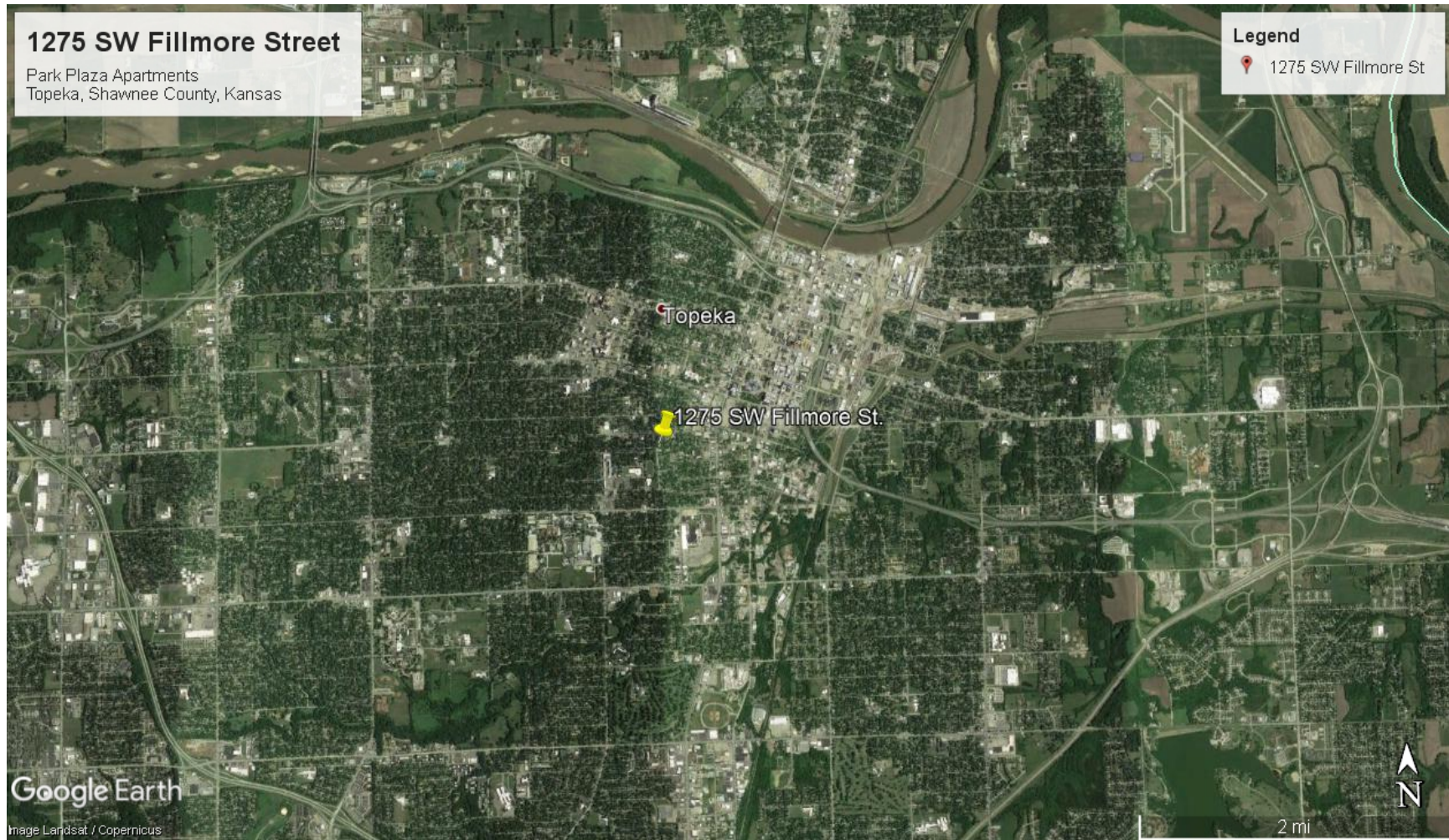
Shawnee, Kansas
County and State



C. Enlarged Topographic Map Showing Building Location

Park Plaza Apartments
Name of Property

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D. Google Earth Aerial Photograph – Overview

Park Plaza Apartments
Name of Property

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Park Plaza Apartments



8/5/2020, 11:53:57 AM

Subdivisions

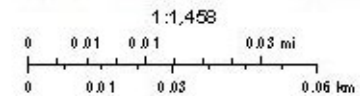
Parcels

* Approximate Center of Building

Coordinates:

Latitude: 39.043004

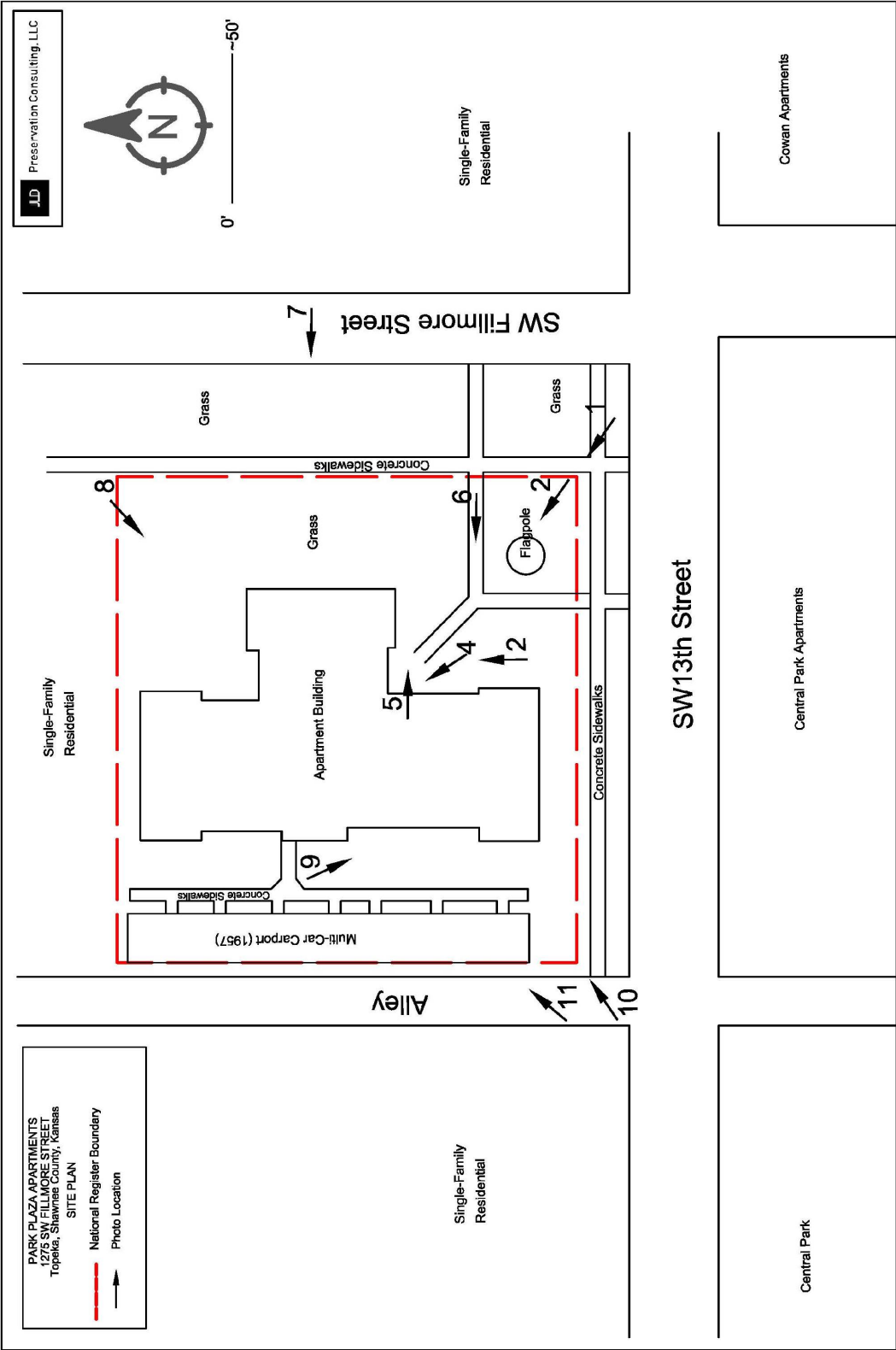
Longitude: -95.689697



SWCGIS

All map data subject to Shawnee County GIS data disclaimer. Parcel lines are not survey accurate and should not be used for legal purposes.

E. Parcel Bounding with Building Coordinates and Aerial Underlay



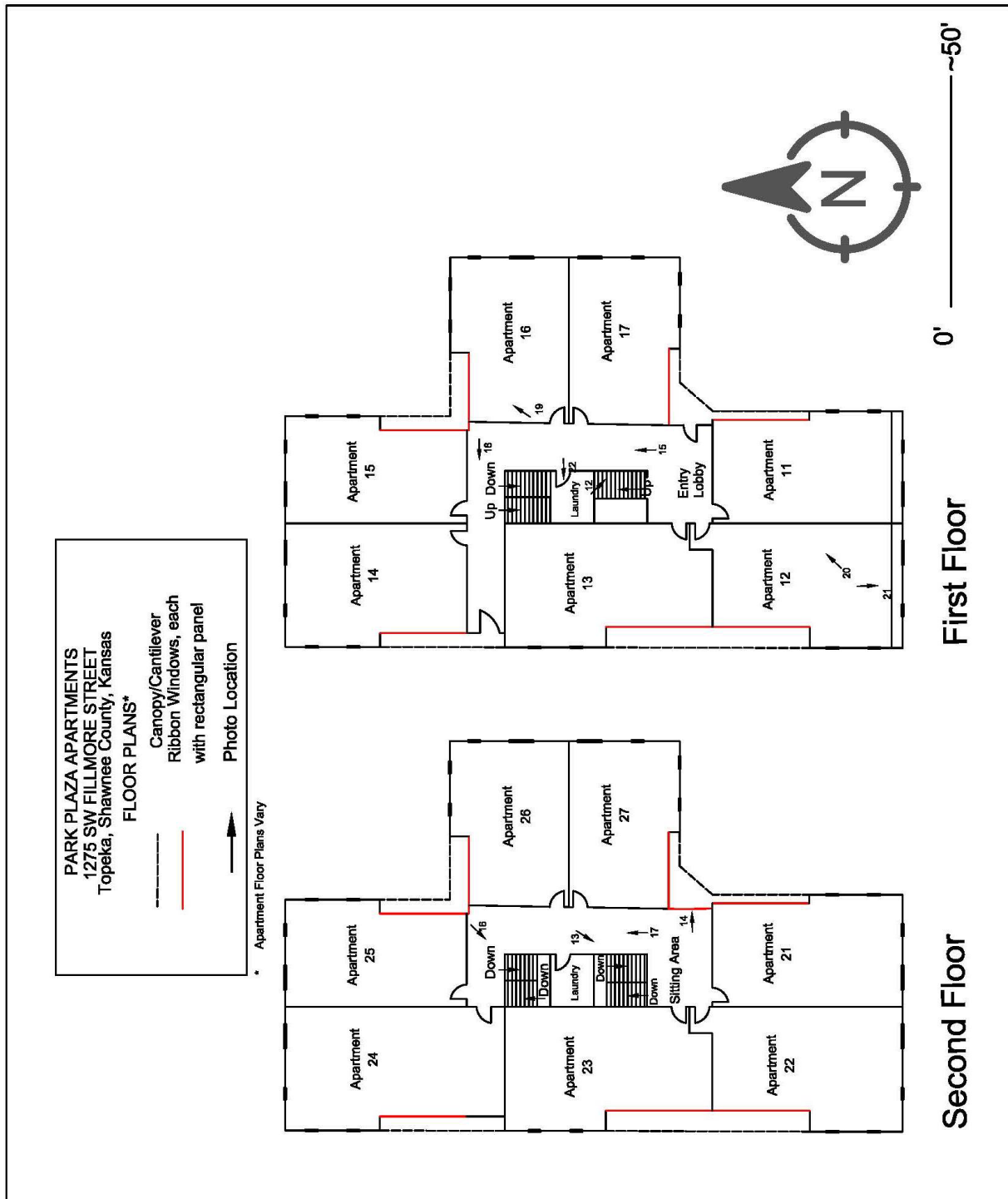
F. Site Plan with Exterior Photograph Locations

Park Plaza Apartments

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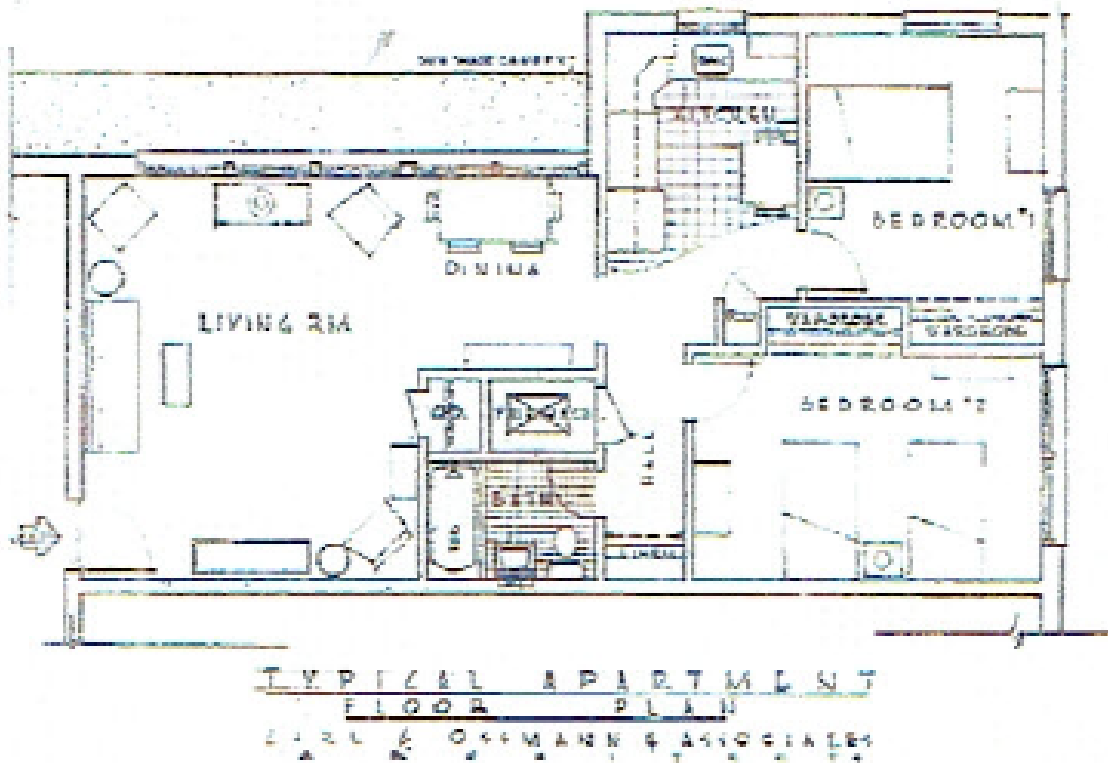
G. Original Interior Floor Plan (1966) with Photographs

Park Plaza Apartments

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H. Architect Drawing of Typical Apartment Layout, 1959
Source: Park Plaza Apartment, Inc. Historic Information (see Figure I.)

- I. The following documents include the Park Plaza Apartments, Inc. Historical Information and Articles of Incorporation, as well as an Affidavit naming Carl Ossmann as Treasurer

Park Plaza Apartments

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Park Plaza Apartments, Inc.

1275 SW Fillmore Street
Topeka, Kansas



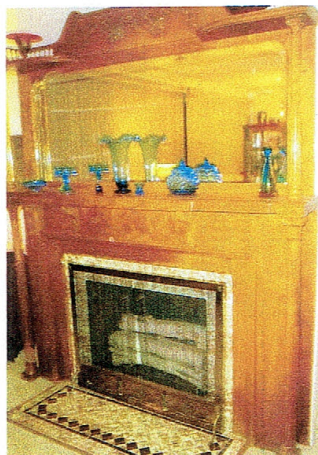
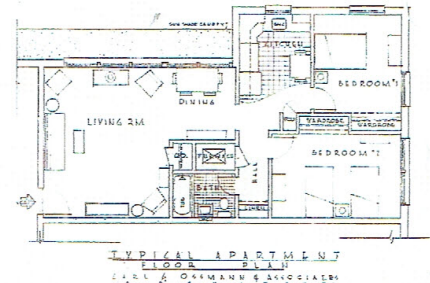
"Construction of a \$250,000 co-op apartment building at 1275 Fillmore is scheduled to begin in early October.

Carl G. Ossman, Topeka architect, is designer and developer of the project. Ossman said the new building is being constructed in response to a demand for more cooperative housing in Topeka.

The 14 units will be of the 'own-your-own' type. Under this cooperative plan, each tenant owns his apartment and contributes a fee monthly toward the up-keep of the building and grounds. Funds are handled by an elected board of directors."

Topeka State Journal July 18, 1959

Park Plaza Apartments sits on the tract of land that once was the three story home of Marcus A Low, general attorney for the Union Pacific railway. The home was built in 1902 at a cost of \$100,000. The Low home was brought in 1937 by Topeka criminal lawyer Edward Rooney where he lived until his death in 1956. The home was in a state of disrepair and was salvaged then removed.



Fireplace salvaged from Rooney house for Apt. 15.



Aftermath of Topeka tornado, June 8, 1966.

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As directed by the Board of Directors of Park Plaza Apartments, Inc., copies of the Charter, By-Laws, and certain corporate papers are bound and made available to each stockholder for reference and use.

September 2, 1959: First meeting of Incorporators

September 9, 1959: First meeting of Incorporation

Articles of Incorporation
(filed September 9, 1959)

Park Plaza Apartments

Name of Property

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CERTIFICATE

or

ARTICLES OF INCORPORATION

(The Certificate or Articles of Incorporation should be attached here, or copied in full.)

PARK PLAZA APARTMENTS, INC.

We, the undersigned, incorporators, hereby associate ourselves together to form and establish a corporation NOT for profit under the laws of the State of Kansas.

FIRST: The Name of the Corporation is Park Plaza Apartments, Inc.

SECOND: The Location of its Principal Place of Business in this state is 1275 Fillmore Street, Topeka, Shawnee.

THIRD: The Location of its Registered Office in this State is 921 Topeka Avenue, Topeka, Shawnee.

FOURTH: The Name and Address of its Resident Agent in this State is Carl G. Ossmann, 921 Topeka Avenue, Topeka, Shawnee.

FIFTH: This Corporation is organized NOT for profit and the objects and purposes to be transacted and carried on are: To provide housing on a non-profit basis, and, in pursuance thereof, to acquire, own, improve, develop, operate, manage, sell, convey, pledge, assign, mortgage, lease or rent any real estate and any personal property. To borrow money and issue evidence of indebtedness therefore in furtherance of the above objects and purposes; and to secure the same by mortgage, deed of trust, pledge, or other lien.

Park Plaza Apartments

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To enter into, perform and carry out contracts of any kind necessary to, or in connection with, or incidental to the accomplishment of any one or more of the above purposes, and to do all things incident thereto.

To have and to exercise all other rights, powers and privileges granted by law to such corporations in this state.

The corporation shall have authority to issue capital stock.

SIXTH: The total amount of capital of this corporation is Two Hundred Thirty Eight-Thousand and no/100 Dollars: and the total number of shares into which it is divided is as follows: 2380 shares of common stock, class---par value One Hundred Dollars each.

Statement of all or any of the designations and the powers, preferences and rights and the qualifications, limitations or restrictions thereof, in respect to any class.

All shares shall have the privileges and restrictions accorded to them by the by-laws, and by the laws of the State of Kansas.

The private property of the stockholders shall never be subject to the payment of any debts, liabilities or obligations of this corporation.

Statement of Grant of Authority, as may be desired to be given to the Board of Directors, if given.

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The Directors shall have all general powers and duties given to them by the laws of the State of Kansas, including the power to manage the business affairs of the corporation, and shall have such other special powers and duties as are prescribed from time to time by the bylaws.

The power to adopt the original by-laws shall be vested in the stockholders; and the power to amend, alter or repeal the by-laws shall be vested in the Board of Directors, subject to the power of the stockholders to amend, alter or repeal the by-laws, as provided by law.

The conditions of membership shall be fixed by the by-laws.

The corporation and its existing shareholders shall have the right to purchase and acquire the stock of a selling stockholder before the sale thereof to a non-stockholder.

SEVENTH: The Amount of Capital with which this Corporation will commence business is Two Thousand Eight Hundred and no/100 Dollars.

EIGHTH: The Names and Places of Residence (P.O. Address) of each of the Incorporators:

Fred C. Noller	1301 Fillmore Street	Topeka, Kansas
W. B. Case	601 Merriam Court	Topeka, Kansas
Mary W. Strain	1251 Topeka Avenue	Topeka, Kansas
Mary L. Marsh	1023 Buchanan Street	Topeka, Kansas
Carl G. Ossmann	1260 Randolph Street	Topeka, Kansas.

Park Plaza Apartments

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NINTH: The Term for which this Corporation is to exist is
ONE HUNDRED YEARS.

TENTH: The Number of Directors or Trustees or Governors
shall be not less than three (3) nor more than five (5) as
fixed from time to time by the by-laws.

IN TESTIMONY WHEREOF, We have hereunto subscribed our
names this 8th day of September, 1959.

Fred C. Noller

W. B. Case

Mary W. Strain

Mary L. Marsh

Carl G. Ossmann

STATE OF KANSAS,
SS.
COUNTY OF SHAWNEE,

Personally appeared before me, a Notary Public in and for
Shawnee County, Kansas, the above-named Fred C. Noller, W. B. Case,
Mary W. Strain, Mary L. Marsh and Carl G. Ossmann who are per-
sonally known to me to be the same persons who executed the
foregoing instrument of writing, and duly acknowledged the
execution of the same.

IN TESTIMONY WHEREOF, I have hereunto subscribed my name
and affixed my official seal, this 8th day of September, 1959.

(SEAL)

Audrey B. McCaig
Notary Public

My Comm. Expires: May 14, 1963.

Park Plaza Apartments

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AFFIDAVIT

STATE OF KANSAS,
COUNTY OF SHAWNEE, SS.

CARL G. OSSMANN, of lawful age, being first duly sworn, upon his oath states:

He resides in Topeka, Shawnee County, Kansas.

He is the treasurer of Park Plaza Apartments, Inc., a Kansas corporation, with its registered office located at 921 Topeka Avenue, Topeka, Kansas.

The amount of capital which the Articles of Incorporation state will be paid in before the corporation commences business, being the sum of \$2,800.00, has been fully paid to him as such treasurer.

Carl G. Ossmann
Carl G. Ossmann

Subscribed and sworn to before me this 10th day of
September, 1959.

Harold Brites
Notary Public

My Comm. Expires: August 22, 1961


Park Plaza Apartments

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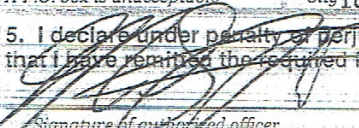
Shawnee, Kansas

County and State

NRO 53-13	KANSAS SECRETARY OF STATE
	Change of Registered Office or Agent by a Not-For-Profit Corporation
CONTACT: Kansas Office of the Secretary of State	
Memorial Hall, 1st Floor 120 S.W. 10th Avenue Topeka, KS 66612-1594	(785) 296-4564 kssos@sos.ks.gov www.sos.ks.gov

0822 01 053 013 \$20.00	FILED BY KS SOS 08-22-2013 11:07:21 AM FILE#: 0298513
 03618187	

i INSTRUCTIONS: All information must be completed or this document will not be accepted for filing.
Please read instructions sheet before completing.

1. Business entity ID number: <small>This is not the Federal Employer ID Number (FEIN)</small>	0298513		
2. Name of corporation: <small>Name must match the name on record with the Secretary of State</small>	Park Plaza Apartments, Inc.		
3. State/Country of organization:	KS		
4. The new name of the resident agent and address of the registered office in Kansas: <small>Address must be a street address A P.O. box is unacceptable</small>	Capital City Bank Name Street Address 1701 SW Gage Blvd Kansas City Topeka State KS Zip 66604		
5. I declare under penalty of perjury under the laws of the state of Kansas that the foregoing is true and correct and that I have remitted the required fee.			
Signature of authorized officer 		Date (month, day, year) 8/19/2013	
Name of signer (printed or typed) Mark L Burenheide			

Park Plaza Apartments

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Paperwork Reduction Act Statement: This information is being collected for nominations to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C.460 et seq.). We may not conduct or sponsor and you are not required to respond to a collection of information unless it displays a currently valid OMB control number.

Estimated Burden Statement: Public reporting burden for each response using this form is estimated to be between the Tier 1 and Tier 4 levels with the estimate of the time for each tier as follows:

Tier 1 – 60-100 hours

Tier 2 – 120 hours

Tier 3 – 230 hours

Tier 4 – 280 hours

The above estimates include time for reviewing instructions, gathering and maintaining data, and preparing and transmitting nominations. Send comments regarding these estimates or any other aspect of the requirement(s) to the Service Information Collection Clearance Officer, National Park Service, 1201 Oakridge Drive Fort Collins, CO 80525.

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United States Department of the Interior
National Park Service

National Register of Historic Places Registration Form

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in National Register Bulletin, *How to Complete the National Register of Historic Places Registration Form*. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. **Place additional certification comments, entries, and narrative items on continuation sheets if needed (NPS Form 10-900a).**

1. Name of Property

Historic name HTK Architects Office Building

Other names/site number Golden Rule Remodeling; KHRI #177-4822

Name of related Multiple Property Listing Mid-Century Modern Non, Single-Family Residential Architecture in Topeka: 1945-1975

2. Location

Street & number 2900 SW MacVicar Avenue

n/a

not for publication

City or town Topeka

n/a

vicinity

State Kansas Code KS County Shawnee

Code SN

Zip code 66611

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act, as amended,

I hereby certify that this x nomination request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60.

In my opinion, the property x meets does not meet the National Register Criteria. I recommend that this property be considered significant at the following level(s) of significance:

 national statewide x local Applicable National Register Criteria: A B x C D

Signature of certifying official/Title Patrick Zollner, Deputy SHPO

Date

Kansas State Historical Society

State or Federal agency/bureau or Tribal Government

In my opinion, the property meets does not meet the National Register criteria.

Signature of commenting official

Date

Title

State or Federal agency/bureau or Tribal Government

4. National Park Service Certification

I hereby certify that this property is:

 entered in the National Register

 determined eligible for the National Register

 determined not eligible for the National Register

 removed from the National Register

 other (explain:)

Signature of the Keeper

Date of Action

HTK Architects Office Building
Name of Property

Shawnee, Kansas
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5. Classification

Ownership of Property
(Check as many boxes as apply.)

<input checked="" type="checkbox"/>	private
<input type="checkbox"/>	public - Local
<input type="checkbox"/>	public - State
<input type="checkbox"/>	public - Federal

Category of Property
(Check only **one** box.)

<input checked="" type="checkbox"/>	building(s)
<input type="checkbox"/>	district
<input type="checkbox"/>	site
<input type="checkbox"/>	structure
<input type="checkbox"/>	object

Number of Resources within Property
(Do not include previously listed resources in the count.)

Contributing	Noncontributing	
1	0	buildings
0	0	sites
2	1	structures
2	0	objects
5	1	Total

**Number of contributing resources previously
listed in the National Register**

0

6. Function or Use

Historic Functions
(Enter categories from instructions.)

COMMERCE/TRADE: professional

Current Functions
(Enter categories from instructions.)

COMMERCE/TRADE: professional

7. Description

Architectural Classification
(Enter categories from instructions.)

MODERN MOVEMENT/International Style

Materials
(Enter categories from instructions.)

foundation: CONCRETE
walls: WOOD/cedar
CONCRETE
roof: ASPHALT
other: GLASS

HTK Architects Office Building

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Narrative Description

(Describe the historic and current physical appearance and condition of the property. Describe contributing and noncontributing resources, if applicable. Begin with a **summary paragraph** that briefly describes the general characteristics of the property, such as its location, type, style, method of construction, setting, size, and significant features. Indicate whether the property has historic integrity.)

Summary

The HTK Architects Office Building, located at 2900 SW MacVicar Avenue in Topeka, Shawnee County, Kansas, is a single-story building on a sloping site with a walkout basement. Designed by HTK Architects in 1966, the building served as the firm's professional office until 2013, when they relocated to downtown Topeka. The building is an example of a small-scaled International Style office building in Topeka. The building combines Modernist construction methods, materials, and principles with the elements of an American version of the International Style. The rectangular building with a flat roof is characterized by a contrasting broad reinforced concrete exterior base, vertical cedar board siding, and expansive window walls. The building and site demonstrate a clear integration of inside and outside relationships, which is a prime tenant of Modernism. The interior of the building consists of gypsum walls, ceilings, and carpeted floors. This nomination includes the entire property on which the HTK Architects Office Building was built due to the clear integration of nature into its overall design. The building remains relatively unchanged since its construction, retaining the Modernist design elements employed by HTK Architects. The few alterations include pushing the recessed entry door further out to accommodate a small interior lobby and the addition of a kitchen, bathroom, and closet to the basement, both occurring during a remodeling in 2018-2019. Despite these alterations, the original design intent is very much intact. In addition to the building, the property includes two contributing structures and two contributing objects that are contemporaneous to the construction of the building. The property includes one noncontributing structure – a decorative wood low screen wall built post-2016 to conceal a non-historic handicap ramp and associated handrails.

Elaboration

Setting and Site: The HTK Architects Office Building is located in the northeast corner of Kansas in the city of Topeka, which is sited along the southern bank of the Kansas River. Topeka is similar to many Midwest towns with an older urban core surrounded by newer suburban sprawl. The office building is located within the South Topeka Area neighborhood, which is roughly bounded by SW Gage Boulevard, SW 29th Street, SW Burlingame Road, and I-470 to the south. The building is located approximately 3.25 miles southwest of downtown Topeka at the southwest corner of the intersection of SW MacVicar Avenue and SW 29th Street. This intersection is characterized by a small collection of office buildings within a largely residential sector of the city associated with the City's post-World War II "Annexation Fever." The property is located at 2900 SW MacVicar Avenue. Adjacent to the east are two 1960s small- to moderate-sized office buildings, including the Menninger Education Center (KHRI #177-4683), which was constructed in 1965 and listed on the National Register in 2020 (#100005120). The surrounding residential neighborhood similarly dates to the 1960s and features a good collection of ranch houses.

The HTK Architects Office Building is centrally sited within a 0.58-acre parcel of land (Figure E). The building rests atop a small hill that slopes downward toward the intersection. The property is irregular in shape and characterized by a natural setting that is partially wooded with a creek bed or natural drainage feature meandering in a northwesterly direction toward the intersection of the two roads. A low stone retaining wall follows the southwestern edge of the drainage. A stone bridge with metal railing crosses the creek bed, connecting the property to the rear of the office buildings to the northeast. It is believed that the bridge and retaining wall were built for the neighboring community in the 1960s, prior to the development of this corner. Although not directly related to the design of the HTK Architects Building, both contribute to the overall aesthetic of the property. Both are considered contributing structures to the property.

The small office building is oriented in a north-south direction, parallel to SW MacVicar Avenue. The building is setback from MacVicar Avenue by 40 feet, whereas its setback from the busier SW 29th Street is approximately 130 feet. The siting of the building atop a hill and its deep setback from SW 29th Street creates a more residential and natural setting than the two office buildings to the northeast that front SW 29th Street. The HTK Building faces south toward a small paved parking lot.

The exterior design and landscaping immediately surrounding the building evokes a deliberate attempt to incorporate nature into the design of the property. Along the front of the building is an 8-foot wide raised planting bed framed by bush-

HTK Architects Office Building

Name of Property

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hammered concrete. A wooden walkway bridge extends from the center of the façade (south), crossing above the planting area. A concrete handicap ramp (post-2016) extends along the western plant bed, and a concrete sidewalk is along the eastern plant bed, wrapping around the east side of the building. Both the ramp and sidewalk connect to the parking lot to the south (Figure F). The northern side of the parking lot is lined with a concrete sidewalk. Between the concrete pathways, the yard is grassed with two mid-century light fixtures comprised of a simple round metal post and a large round globe that is tinted. The light fixtures are original to the building and shown on both the 1966 construction plan and architect rendering of the building (Figures I and J). As such, the light fixtures are considered contributing objects to the property. An approximately 4-foot high wooden privacy fence wall is along the western half of the front garden bed and walkway. This was installed in the 2018-2019 remodel to conceal the handicap ramp. The wall is not part of the original design, and therefore, is a noncontributing structure on the property.

Along the east side of the building, a decorative wooden screen wall separates concrete steps from the wall of the building, apparently concealing exterior electrical equipment. At the base of the steps was historically a small Japanese garden that was replaced with a square concrete patio during the c.2016 renovations of the building conducted by the present owners, Golden Rule Remodeling. At the north end of the patio is a raised U-shaped concrete bench wall and rectangular fire pit. North of the building, the natural, partially wooded setting continues to contribute to the intended "organic" design of the building.

Exterior: The HTK Office Building is approximately 40-feet by 40-feet with a flat, built-up gravel roof with wood fascia. The building is one-story; however, due to the natural sloping down towards the rear (north), basement walls are exposed. The building rests on reinforced concrete foundation walls and footers, with steel columns and beams. The basement floor is a concrete slab. The basement exterior is exposed bush hammered corduroy concrete walls visible on all elevations save but the front elevation. The main level, or first floor, cantilevers slightly beyond the raised basement. The building is characterized by its window walls along the front façade (south) and rear (north) elevations, in contrast to the other solid exterior materials. Specifically, the vertically-oriented cedar siding on the first floor contrasts with the texture of the corduroy concrete walls along the basement. The architect's use of the bush-hammered concrete walls further enhances the natural feel of the building. The weathering of the concrete blends nicely with the surrounding natural setting and gives the appearance of a more natural material.

The front façade is symmetrical, with a recessed central entryway flanked by tinted window walls. The window walls are framed by beams with wood fascia and are comprised of four bays of insulated sliding doors. The entry door was replaced in 2019 by a single-leaf glass door with a wide, single-light sidelight. The original door was located further to the north, which created a longer wooden walkway crossing the raised plant beds. During the 2019 renovation, the door was pushed forward to accommodate a small interior lobby. The west elevation lacks windows or door openings.

The first floor of the north elevation features a full-width window wall comprised of five bays of insulated sliding doors. At the basement level, a set of five fixed windows with metal frames occupies the western half of the wall. Projecting from the west end of the rear elevation is a corduroy concrete wall. The wall acts as a privacy screen at the rear of the building. Similarly, the exterior wall occupying the eastern half of the rear extends approximately 10 feet from the east elevation. Here, the wall provides privacy to the outdoor patio on the east elevation.

On the east elevation, a large, multi-light garage bay door is located at the basement level. Its opening is original to the building and designed for a sliding door. The garage bay door was installed during the recent renovations. Perpendicular to the north of the door, a prominent bush-hammered concrete screen wall extends from the basement. The west elevation reveals a partially raised basement. The basement's west wall extends approximately 10 feet from the south elevation, acting as a screen wall. The south elevation reveals a full-height basement with a corduroy concrete wall and a window wall comprised of five metal-framed panes.

Interior: The interior of the HTK Architects Office Building retains its overall arrangement of space and design elements. The first floor (upper level) rooms are arranged around a central reception area, and the large open drafting room occupies the full rear third of the floor and looks to the wooded lot along the entire north wall. The approximate 8-foot ceilings are painted gypsum board panels, and the floors are concrete. In some spaces, recent carpeting was installed atop the concrete floor. Interior walls are primarily drywall; however, sidewalls of the drafting room, office, conference room, and lobby are clad in the same vertical cedar siding as the building's exterior. This emphasizes the indoor-outdoor relationship of the building, a prime tenant of Modernism and the International Style. Among the most distinguishing features of the interior is the use of red birch for the cabinetry, doors, and base.

Upon entry into the building from the main entrance on the front façade is a narrow entry lobby with walls clad in the vertical siding matching the exterior cladding. Historically, the lobby was a covered extension of the wooden walkway that

HTK Architects Office Building

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crosses the raised plant beds along the front of the building. The 2018-2019 remodel pushed the primary entry door northward approximately four to five feet to accommodate the small waiting area. The lobby is carpeted.

Directly south of the entryway and lobby is the central reception area. Here the walls are drywall and floors carpeted. The conference room and office on either side of the lobby each contain two sets of sliding window walls. Adjacent to the north of the office is a narrow hallway with a concrete block eastern wall. Opposite this wall is a concrete vault presently used for storage. The hallway is carpeted with full-height red birch cabinets and a small kitchenette that is original to the design. The hallway leads to an open drafting room occupying the north end of the first floor. The row of sliding glass doors along the north wall provide extensive natural lighting into the space. Two long rows of fluorescent lighting spans the ceiling. According to the construction drawings, the architects provided framing for a future 30-inch wide stair hall within the drafting room. The stairs were reportedly installed in the 1960s. Recent renovations removed the stairs.

At the basement level, the floors are concrete, and interior steel support posts are exposed. The majority of the basement walls are original vertical cedar siding, matching the exterior wood siding on the first floor. The basement is primarily an open space. Ghost marks on the concrete floor that form a rectangular shape indicate the location of a former set of stairs leading from the drafting room above. The window wall on the north end of the basement strongly integrates the surrounding environment into the space, as well as provides abundant natural lighting. Recent building renovations included the addition of a kitchen, bathroom, and storage room to the basement. The kitchen occupies the south end of the open space, flanked on either side by the bathroom and storage room. The walls of the additions are drywall.

Alterations: Modifications to the HTK Architects Office Building occurred during the recent renovations undertaken by the present owner, Golden Rule Remodeling. The majority of the modifications occur in the basement. Specifically, the basement features a new entry door and a garage bay door that replaced the original sliding doors. Also, in the basement, the stairs leading from the drafting room on the first floor were removed, and the kitchen, bathroom, and storage room were installed. On the first floor, the location of the entry door was pushed forward to accommodate the small lobby, and the door replaced. Within the drafting room, low walls, which are removable, were installed to create private cubicle space. Landscaping modifications include the addition of the concrete handicap ramp, the decorative wood fence/wall to hide the ramp, and the wooden enclosure of possible electrical equipment on the east elevation. In addition, the former Zen/Japanese garden was replaced with the present concrete patio with a fire pit and concrete bench.

Integrity: The HTK Architects Office Building has not moved since its construction. Therefore, it retains its historic **location**. Landscaping alterations are minor and done primarily for aesthetic purposes to conceal necessary modern installations, including the handicap ramp and exterior electrical or plumbing equipment. The patio addition might be considered a modern upgrade to the earlier Zen garden. The changes within the interior of the building are minor and do not affect the form, space, structure, and overall style of the property. Thus, the integrity of **materials**, **workmanship**, and **design** remain intact. The HTK Architects Office Building was built at a time during the 1960s when many buildings in the surrounding neighborhood were constructed, including office buildings fronting SW 29th Street. The area is a combination of residential, light commercial, and office construction. Despite minimal infill construction within the area, its overall **setting** remains largely intact and continues to reflect a mixed suburb contemporaneous with Topeka's extensive expansion throughout the mid-20th century. The building strongly reflects Modernist aesthetics of mid-century design, particularly the use of modern materials and building methods, and the International Style with its characteristic flat roof, juxtaposition of materials, and asymmetrical compositions. Together, the building, its setting, and landscape elements maintain the historic **aesthetic** intended by the architects. The building was designed by prolific Topeka architects, HTK Architects, to serve as their office. The firm was the only tenant of the building for nearly 55 years when in c.2016, they relocated their office to downtown to accommodate an expanding business. The building continues to be remembered for its **association** with the firm. Further, the new owners, who specialize in architectural remodeling, have maintained the building's use as a professional office.

HTK Architects Office Building

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8. Statement of Significance

Applicable National Register Criteria

(Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing.)

- ☐ A Property is associated with events that have made a significant contribution to the broad patterns of our history.
- ☐ B Property is associated with the lives of persons significant in our past.

- ☒ C Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.

- ☐ D Property has yielded, or is likely to yield, information important in prehistory or history.

Criteria Considerations

(Mark "x" in all the boxes that apply.)

Property is:

- ☐ A Owned by a religious institution or used for religious purposes.
- ☐ B removed from its original location.
- ☐ C a birthplace or grave.
- ☐ D a cemetery.
- ☐ E a reconstructed building, object, or structure.
- ☐ F a commemorative property.
- ☐ G less than 50 years old or achieving significance within the past 50 years.

Areas of Significance

ARCHITECTURE

Period of Significance

1966

Significant Dates

Significant Person

(Complete only if Criterion B is marked above.)

Cultural Affiliation

Architect/Builder

HTK Architects

Period of Significance (justification)

The Period of Significance is 1966, when the HTK Architects Office Building was erected.

Criteria Considerations (justification)

N/A

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Narrative Statement of Significance

(Provide a summary paragraph that includes level of significance, applicable criteria, justification for the period of significance, and any applicable criteria considerations.)

Summary

The HTK Architects Office Building is nominated to the National Register of Historic Places under the *Mid-Century Modern Non, Single-Family Residential Architecture in Topeka* context as an excellent example of the Small Office property type. It is nominated under Criterion C as a local example of Modernist architecture incorporating the International Style. The building's overall functional form, flat roof, curtain walls, and exposed reinforced concrete walls are all distinguishing design features of Modernist architecture, specifically the International Style. One particular element of the International Style is the solid planar east and west facades contrasted to the completely clear glazed north and south facades. The walls of sliding glass doors not only provide considerable natural lighting but are a deliberate attempt to bring the outdoors inside. The bush-hammered corduroy concrete exterior walls at the basement level extend beyond the boxy enclosure above, screening glass openings and creating exterior space. The same exterior cedar siding is used on interior walls – another design element to bring the outdoors in. The use of exterior bush-hammered concrete walls at the basement create a more natural appearance than raw concrete and contrast with the wood and glass first floor, cantilevered above. Additional International Style design elements include distinct zones distinguished by exterior material (wood/concrete), and walls extending beyond the building to create private outdoor space. Finally, the overall design of the building includes a raised planting bed along the front façade with a wooden walkway and bridge crossing over. An original Japanese garden was replaced with a modern concrete patio with a fire pit. The stone bridge at the rear of the property, which spans multiple property lines, further reflects the builder's attempt to encourage people to enjoy a natural park-like setting between office buildings. The office building, along with original landscape elements, retain a high degree of integrity.

Elaboration

Neighborhood History

The City of Topeka was first settled in the winter of 1854 when Cyrus K. Holliday and Charles Robinson traveled along the Kansas River in search of a new site for a second Kansas colony. An ideal location for the future colony was discovered on a low bluff on the south side of the Kansas River. The settlement was named Topeka, which was incorporated as a city on February 14, 1857, with a population of 450 residents. The following year, the county seat was moved from Tecumseh to Topeka, and in 1861, the city became the permanent location of the state capital.¹

Throughout the late-19th and early-20th centuries, the city limits expanded outward as small villages, neighborhoods, and undeveloped areas were annexed into the city. By 1890, the city's population exceeded 35,000 residents, with new streetcar suburbs emerging across the city. By 1940, Topeka had reached an area of 11.6 square miles with a population of 67,833.² The corporate city limits included North Topeka on the north side of the Kansas River; the Oakland annexation at the northeast corner; the city cemetery at the southeast corner; Quinton Heights to the south; and Washburn College at the southwest corner. The western edge extended to include MacVicar, High, and Summit Avenues.

¹ Susan Ford, "Country Club Addition Neighborhood Historical Survey and Report," prepared for the City of Topeka, Kansas, March 5, 2018.

² Topeka Capital-Journal, "Topeka at 150: Celebrating the Sesquicentennial of the Capital City of Kansas," *Topeka Capital-Journal*, 2004.

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Lowmans Mill was adjacent to the west of the city limits, and the State Insane Asylum adjacent to the northwest.

Following World War II, Topeka experienced an unprecedented period of population growth and expansion. A number of factors contributed to this dramatic increase. Nationwide, the period from 1945 to 1975 was considered a "boom for single-family residential construction, suburbanization, and the realization of the American dream of home ownership."³ Between 1945 and 1954, more than 13 million houses were constructed across the country. Among those, 80% were built in the suburbs of metropolitan areas and only 20% within cities.⁴ This housing boom was stimulated in part by affordable mortgages for returning veterans. At the same time, the jump in post-war births, known as the "baby boom," catapulted the national population. Such is the case in Topeka, where its adjacent suburbs continued to strengthen and were absorbed into the City's corporate limits.

In 1944, the city's economy was given another boost when the Goodyear Tire and Rubber Company built an impressive plant in North Topeka. The presence of the Forbes Air Base south of downtown from the late-1940s through the 1960s further contributed to the population growth and renewed expansion and annexation of residential sectors of Topeka. By 1950, the corporate limits of Topeka encompassed 12.5 square miles, with the population reaching 78,791.⁵ An "annexation fever" swept across Topeka during the 1950s, more than doubling the area of the City to 36.4 square miles by 1960.⁶

As the City expanded, distinct neighborhoods and wayside commercial corridors emerged. This is especially the case in South Topeka Neighborhoods, where the HTK Architects Office Building is located. With the exception of a few scattered additions and neighborhoods, the area within which the office building is located remained predominantly rural until after World War II when the postwar baby boom and "annexation fever" expanded the city's suburban neighborhoods. The Shunganunga Creek runs through the area a short distance north of the property. Four large parks (Felker, Wells, Warren, and Big Sunga), totaling more than 300 acres, are located within the South Topeka Neighborhood area. The area consists of post-war and later subdivisions, apartment complexes, schools, and several churches. Light commercial and office buildings are located along the busier thoroughfares. Constructed in 1966, the HTK Architects Office Building and its associated neighborhood are indicative of the post-World War II suburban expansion of the city of Topeka and its continued development through the 1960s.

Architecture⁷

Topeka boasts an impressive collection of Modernist architecture, including a wide range of building types and distinct stylistic influences. The multitude of Mid-Century Modern buildings in Topeka is attributed not only to the "annexation fever" of the post-war period but also the 1951 Flood, an F-5 tornado that destroyed much of the City in 1966, and Urban Renewal programs. Collectively, these four events greatly impacted the City's built environment, with much of the new construction adopting the popular Modernist principles of the era. The HTK Architects Office Building is indicative of the impressive expansion of the City throughout the mid-20th century. Although the 1966 tornado passed just north of the property, the construction of the building does not appear to be a result of the tornado.

³ Emily Pettis, et al., *A Model for Identifying and Evaluating the Historic Significance of Post-World War II Housing*, Washington, DC: Mead & Hunt for the Transportation Research Board, 2013; p.49.

⁴ Kenneth T. Jackson, *Crabgrass Frontier. The Suburbanization of the United States*, New York: Oxford University Press, 1985; p.283.

⁵ Topeka Capital-Journal, "Topeka at 150: Celebrating the Sesquicentennial of the Capital City of Kansas," *Topeka Capital-Journal*, 2004.

⁶ Topeka Capital-Journal, "Topeka at 150: Celebrating the Sesquicentennial of the Capital City of Kansas," *Topeka Capital-Journal*, 2004.

⁷ The majority of the Architectural Context is taken from the *Mid-Century Modern Non, Single-Family Residential Architecture in Topeka: 1945-1975* Multiple Property Documentation Form, prepared by Jaime Destefano, the author of this nomination.

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Modern Architecture, or Mid-Century Modern, might be considered an umbrella term used for resources sharing characteristics commonly occurring in post-World War II American architecture, particularly in commercial and institutional buildings. Changes in construction methods, materials, and styles characterized post-World War II era architecture nationwide. Among the common design elements characterizing Mid-Century Modern architecture is the general rejection of ornamentation and references to historical precedents. Building materials and methods reflect technological advancements of the age and emphasize function over form, and "design based on expressing structure and use."⁸ Concrete became a primary building material, including pre-cast, aggregate, and pre-stressed. Aluminum and stainless steel were favored over other metals due to their durability and sleekness.

Modernist architecture would "convey meaning by the very lack of ornament."⁹ It was an era marked by a transformation from classical symbolism and masonry massing towards steel and glass construction to "celebrate innovation, freedom, and flexibility."¹⁰ Although references to the past were generally avoided, classical traditions often endured or evolved.

Modernism has its roots in the International Style as it evolved in Europe during the 1920s. Modernism grew out of the art and architectural reform movements that came together in the Bauhaus School of Design in Weimer, Germany. The Bauhaus sought to steer artists and architects towards the "building of the future." This philosophy carried strong associations with political reforms, socialism, and mandates to embrace the machine age.¹¹

It was not until the Post-World War II era that American architects began embracing Modernism. According to Meghan Hogan's *The Future of Modern*, the Movement was a "salute to the postwar era itself, spearheaded by architectural giants such as Mies van der Rohe, Eero Saarinen, and Philip Johnson. At the height of its popularity, the sweeping curves, sheets of glass, and absence of ornament signaled change."¹² Following the War, the increased use of industrially-produced materials and building components ultimately led to the adoption of a "machine" aesthetic in building design that is evident among a variety of Mid-Century Modern styles and sub-styles. Ultimately, in the United States, the "advanced technologies and the development of pre-fabricated materials, combined with Urban Renewal programs at the federal, state, and local levels, greatly impacted the social changes, design innovations, and expressive influences on the built environment."¹³

Modernist design in Topeka generally falls into two umbrella philosophies – conservative and radical. Sub-styles embracing conservative Modernism include the International Style and New Formalism. Radical Modernist, which gained popularity by the late-1950s, include Neo-Expressionism, Brutalism, and Googie. The HTK Architects Office Building is a later representation of conservative Modernist design. The building reflects elements drawn from the International Style and the Bauhaus philosophies. By this point, both Gropius and Breuer were practicing and teaching at the Harvard Graduate School of Design (GSD) and influencing an entire generation of Architects.

The International Style was popular nationwide from the 1940s through the 1970s, becoming the standard for American commercial and institutional design.¹⁴ The style emphasized technology and expression of

⁸ Peter Meijer Architect, "Thematic Survey of Modern Movement Non-Residential Architecture, 1945-1975, in St. Louis City," City of Saint Louis Cultural Resources Office, 2013; p.14.

⁹ Rifkind p.104

¹⁰ Rifkind p.104.

¹¹ Jonathan and Donna Fricker, "Oil and Gas Building National Register of Historic Places Nomination Form," National Park Service, 2013; page 8.

¹² Megan Hogan, "the Future of Modern: Federal Architecture in an Era of Change," in *Common Ground* (Spring 2009), p.28

¹³ Peter Meijer Architect, "Thematic Survey of Modern Movement Non-Residential Architecture, 1945-1975, in St. Louis City," City of Saint Louis Cultural Resources Office, 2013; p.

¹⁴ Jonathan and Donna Fricker, "Louisiana Architecture: 1945-1965, Modernist Triumphant – Commercial and Institutional Buildings, September 2009, revised February 2010.

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construction methods, materials, exposed structural elements, and simplicity of form. It is from the International style that other Modernist styles, or sub-styles, are derived. Identifying features of the International style include the use of modern structural materials (concrete, glass, and steel), flat roof, balance and regularity, ribbon windows and glass curtain walls, and the general rejection of non-essential decoration. Other important features include the occasional skeleton-frame construction, the juxtaposition of materials, metal mullions, and smooth spandrel panels separating large, single-pane windows between floors. The majority of Modernist buildings in Topeka reflect some degree of International Style design features.

Constructed in 1966, the HTK Architects Office Building was built during the later years of the Modern Movement and adopts a variety of the stylistic influences of the International Style. The International Style is visible in the overall functionality of the building, its simple boxy form, flat roof, curtain wall, reinforced concrete exterior, and substantial use of glass.

The building is best characterized by its International Style influences and its emphasis on the integration of Bauhaus principles of design. The walls of sliding glass doors not only provide considerable natural lighting to the interior but are a deliberate attempt to design a workspace where the exterior walls could quite literally be moved, inviting the outdoors inside. The bush-hammered concrete exterior walls at the basement level and the use of cedar cladding on the first floor, further the natural aesthetic of the building. The same exterior cedar siding is used on interior walls – another "organic" design element used to bring the outdoors in. The use of exterior bush hammered corduroy concrete walls at the basement also creates the appearance of stone walls with the wood-clad first floor cantilevered above. Additional International Style-inspired design elements include zones distinguished by exterior material (wood versus concrete) and walls extending beyond the building to create privacy for employees to enjoy the outdoor space. Finally, the overall design of the building includes a raised planting bed along the front façade with a wooden walkway and bridge crossing over. An original Japanese garden was replaced with a modern concrete patio and fire pit. The stone bridge at the rear of the property, which spans multiple property lines, further reflects the builder's attempt to encourage people to enjoy a natural park-like setting between office buildings. The office building, along with original landscape elements, retain a high degree of integrity.

HTK Architects occupied the office building at 2900 SW MacVicar for nearly 50 years before relocating to a large office downtown. In 2013, the building was acquired by Henry McClure. In 2016, Golden Rule Remodeling acquired the property, undertaking an impressive restoration of the building and property that honored the original architects' historic design and landscape elements.

The HTK Architects Office Building is eligible for listing in the National Register of Historic Places under Criterion C for Architecture. The building remains in its original location and retains its historic integrity and character-defining features. The building meets the eligibility requirements for Small Office Buildings as outlined in the *Mid-Century Modern, Non, Single-Family Residential Architecture in Topeka*.

HTK Architects

HTK Architects began in 1958 when Glen Horst and Joe Terrill first opened H&T Architects in downtown Topeka. A few years later, Gary Karst joined the firm, and it became HTK Architects. Their first education project was the Sunny Elevation Elementary School in Topeka (presently Auburn Washburn District Office), completed in 1959. Since 1958, HTK has been a leading architectural firm in Topeka and throughout Kansas, designing a wide range of buildings from civic, corporate, healthcare, public education, higher education, military, religious, and sports facilities. Today, the firm has more than 30 employees. Among the numerous buildings designed by the firm during the Modernist period include the Prudential and State Farm Insurance Office Building (KHRI #177-4825) in 1960, the American Savings Bank (KHRI #177-4834) in 1960, and an office building at 3310 SW Harrison Street (KHRI #177-4864) c.1965, as well as many others.

HTK Architects Office Building
Name of Property

Shawnee, Kansas
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9. Major Bibliographical References

Bibliography (Cite the books, articles, and other sources used in preparing this form.)

Destefano, Jaime L., *Mid-Century Modern Non, Single-Family Residential Architecture in Topeka: 1945-1975* Multiple Property Documentation Form, prepared for the City of Topeka, 2019-2020.

Falk, Bryan, Falk Architects, "2209 SW 29th Street National Register of Historic Places Nomination Form," National Park Service, August 2019.

Ford, Susan. "Country Club Addition Neighborhood Historical Survey and Report," prepared for the City of Topeka, Kansas, March 5, 2018.

Jackson, Kenneth T., *Crabgrass Frontier. The Suburbanization of the United States*, New York: Oxford University Press, 1985.

Pettis, Emily et al., *A Model for Identifying and Evaluating the Historic Significance of Post-World War II Housing*, Washington, DC: Mead & Hunt for the Transportation Research Board, 2013.

Topeka Capital-Journal, "Topeka at 150: Celebrating the Sesquicentennial of the Capital City of Kansas," *Topeka Capital-Journal*, 2004.

Previous documentation on file (NPS):

☐ preliminary determination of individual listing (36 CFR 67 has been requested)
☐ previously listed in the National Register
☐ previously determined eligible by the National Register
☐ designated a National Historic Landmark
☐ recorded by Historic American Buildings Survey # _____
☐ recorded by Historic American Engineering Record # _____
☐ recorded by Historic American Landscape Survey # _____

Primary location of additional data:

☐ State Historic Preservation Office
☐ Other State agency
☐ Federal agency
☐ Local government
☐ University
☐ Other
Name of repository: _____

Historic Resources Survey Number (if assigned): _____

10. Geographical Data

Acreage of Property Less than one

Provide latitude/longitude coordinates OR UTM coordinates.

(Place additional coordinates on a continuation page.)

Latitude/Longitude Coordinates

Datum if other than WGS84: _____
(enter coordinates to 6 decimal places)

1 39.014614 -95.70606
Latitude: Longitude:

3 _____
Latitude: Longitude:

2 _____
Latitude: Longitude:

4 _____
Latitude: Longitude:

OR

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UTM References

_____ NAD 1927 or _____ NAD 1983

1 _____
Zone Easting Northing

3 _____
Zone Easting Northing

2 _____
Zone Easting Northing

4 _____
Zone Easting Northing

Verbal Boundary Description (describe the boundaries of the property)

Located in the Moss subdivision in the Southwest Topeka Area neighborhood, Block A, Lot 7+ and N70 of Lot 8, in Section 13, Township 12, Range 15. Beginning at the northeast corner of the lot at SW 29th Street and thence southeasterly 195 feet, thence southwesterly 60 feet. The boundary then continues in a southerly direction for approximately 70 feet. The boundary then travels west approximately 112 feet to form the southern boundary of the property. The boundary then travels in a northerly direction approximately 252 feet to the northwest corner of the property. The boundary then travels 24 feet in an easterly direction along SW 29th Street to the point of beginning.

Boundary Justification (explain why the boundaries were selected)

The nominated boundary includes the entire parcel which is historically associated with the HTK Architects Office Building.

11. Form Prepared By

name/title Jaime L. Destefano, MSHP

organization JLD Preservation Consulting LLC

date July 21, 2020

street & number PO Box 445

telephone 404-694-2066

city or town Fentress

state TX

zip code 78622

e-mail JLD.PreservationConsulting@gmail.com

Property Owner: (complete this item at the request of the SHPO or FPO)

name Matt Vicent, Golden Rule Remodeling

street & number 2900 SW MacVicar Avenue

telephone 785-232-2439

city or town Topeka

state Kansas

zip code 66611

Paperwork Reduction Act Statement: This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C.460 et seq.).

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Estimated Burden Statement: Public reporting burden for this form is estimated to average 100 hours per response including time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Office of Planning and Performance Management, U.S. Dept. of the Interior, 1849 C. Street, NW, Washington, DC.

Additional Documentation

Submit the following items with the completed form:

Photographs

Submit clear and descriptive photographs. The size of each digital image must be 1600x1200 pixels (minimum), at 300 ppi (pixels per inch) or larger. Key all photographs to a sketch map or aerial map. Each photograph must be numbered and that number must correspond to the photograph number on the photo log. For simplicity, the name of the photographer, photo date, etc. may be listed once on the photograph log and doesn't need to be labeled on every photograph.

Photograph Log

Name of Property:	HTK Architects Office Building
City or Vicinity:	Topeka
County: Shawnee	State: Kansas
Photographer:	Jaime Destefano, MSHP
Date Photographed:	November 13, 2019

Description of Photograph(s) and number, include description of view indicating direction of camera:

- | | |
|-----------|---|
| 1 of 20. | Front Façade (South Elevation), photographer facing north |
| 2 of 20. | Front Façade (South Elevation), photographer facing north |
| 3 of 20. | Southeast Oblique, photographer facing northwest |
| 4 of 20. | Southwest Oblique, photographer facing northeast |
| 5 of 20. | Northwest Oblique, photographer facing southeast |
| 6 of 20. | North Elevation, photographer facing south |
| 7 of 20. | East Oblique, photographer facing northwest |
| 8 of 20. | Raised Plant Beds along Front Façade (south elevation), photographer facing west |
| 9 of 20. | Rear patio, stone retaining wall, and stone bridge, photographer facing northeast |
| 10 of 20. | Interior reception, photographer facing northeast |
| 11 of 20. | Interior reception and waiting lobby, photographer facing southeast |
| 12 of 20. | Conference Room, photographer facing southeast |
| 13 of 20. | Front Office, photographer facing southeast |
| 14 of 20. | Drafting Room, photographer facing northwest |
| 15 of 20. | Drafting Room, photographer facing east |
| 16 of 20. | Drafting Room, photographer facing southwest |
| 17 of 20. | Work Room Cabinetry, photographer facing southwest |
| 18 of 20. | Hall and Kitchenette, photographer facing northeast |
| 19 of 20. | Basement, photographer facing northwest |
| 20 of 20. | Basement – Modern Kitchen and Small Room Additions, photographer facing south |

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Figures

Include GIS maps, figures, scanned images below.

- a. HTK Architects in Front of Their New Office Building, 1966
- b. Topographic Map
- c. Enlarged Topographic Map
- d. Aerial Map
- e. Enlarged Aerial Map with Building Coordinates
- f. Site Plan showing Exterior Photograph Locations
- g. Interior Floor Plan with Photograph Locations – First Floor
- h. Interior Floor Plan with Photograph Locations - Basement
- i. 1966 Architect Rendering
- j. Construction Drawing, 1966 – Site Plan
- k. Construction Drawing, 1966 – First Floor Plan
- l. Door Schedule and Room Finish Schedule
- m. Construction Drawing, 1966 - Foundation Plan
- n. Construction Drawing, 1966 – First Floor Framing Plan
- o. Construction Drawing, 1966 – Exterior Elevations
- p. Construction Drawing, 1966 – Typical Wall Section
- q. Construction Drawing, 1966 – Entrance Stair Detail
- r. Construction Drawing, 1966 – Aluminum Sliding Glass Door Details
- s. Construction Drawing, 1966 – Interior Door Detail
- t. Construction Drawing, 1966 – East Elevation of East Storage Unit with Kitchenette
- u. Construction Drawing, 1966 – West Elevation of West Storage Unit
- v. Construction Drawing, 1966 – East Elevation of Workroom Cabinets
- w. Construction Drawing, 1966 – Beam & Columns Details

HTK Architects Office Building
Name of Property

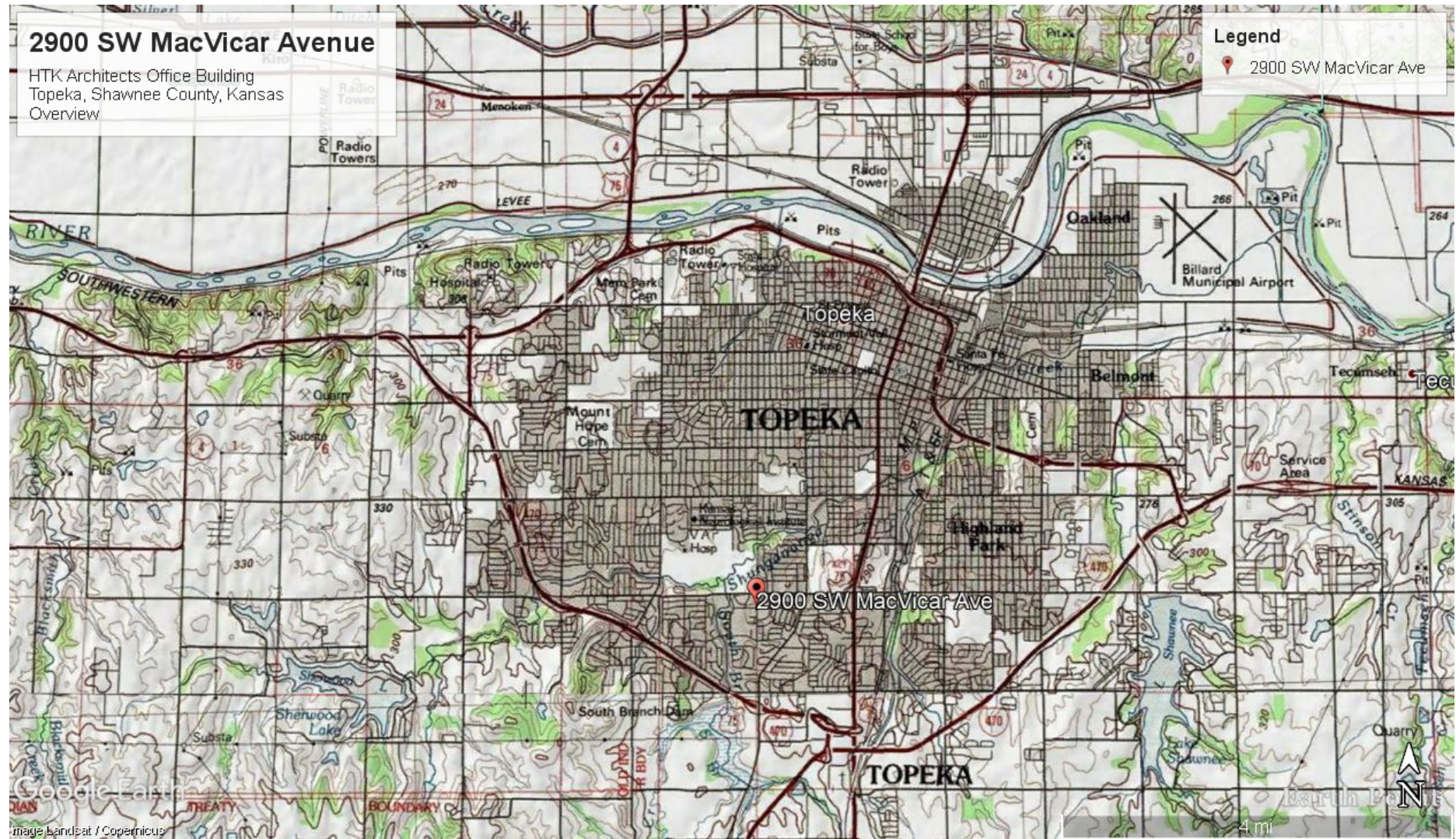
Shawnee, Kansas
County and State



A. 1966 Photograph of HTK Architects in Front of Their New Office Building, 1966

HTK Architects Office Building
Name of Property

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B. Topographic Map – Overview

HTK Architects Office Building
Name of Property

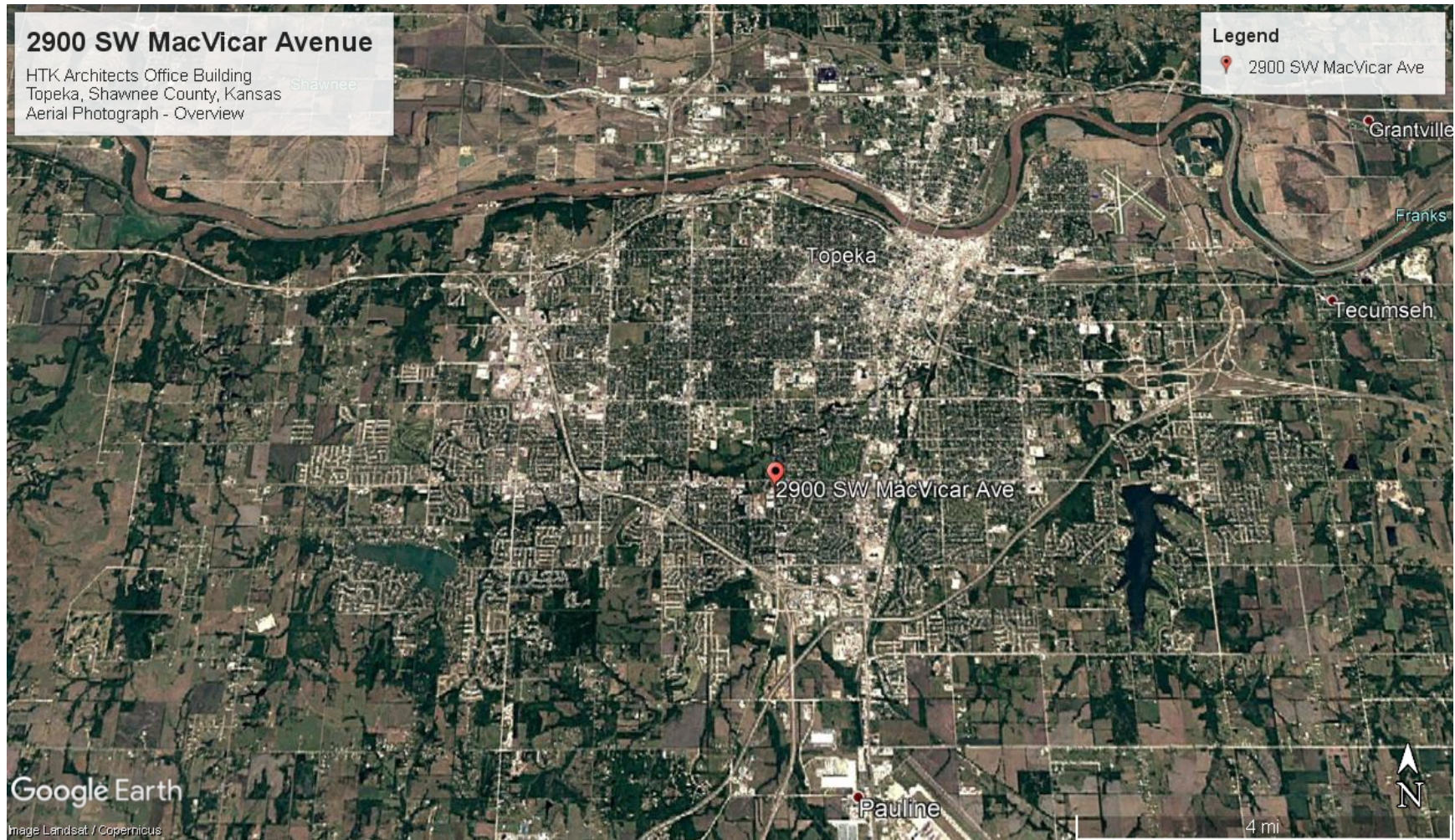
Shawnee, Kansas
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C. Enlarged Topographic Map Showing Building Location

HTK Architects Office Building
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D. Google Earth Aerial Photograph – Overview

HTK Architects Office Building
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2900 SW MacVicar Avenue



2/12/2020, 9:35:12 AM

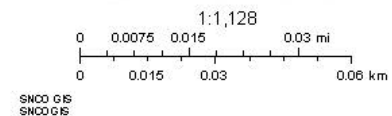
Parcels

* Approximate Center of Building

Coordinates:
Latitude 39.014614
Longitude -95.70606



NORTH

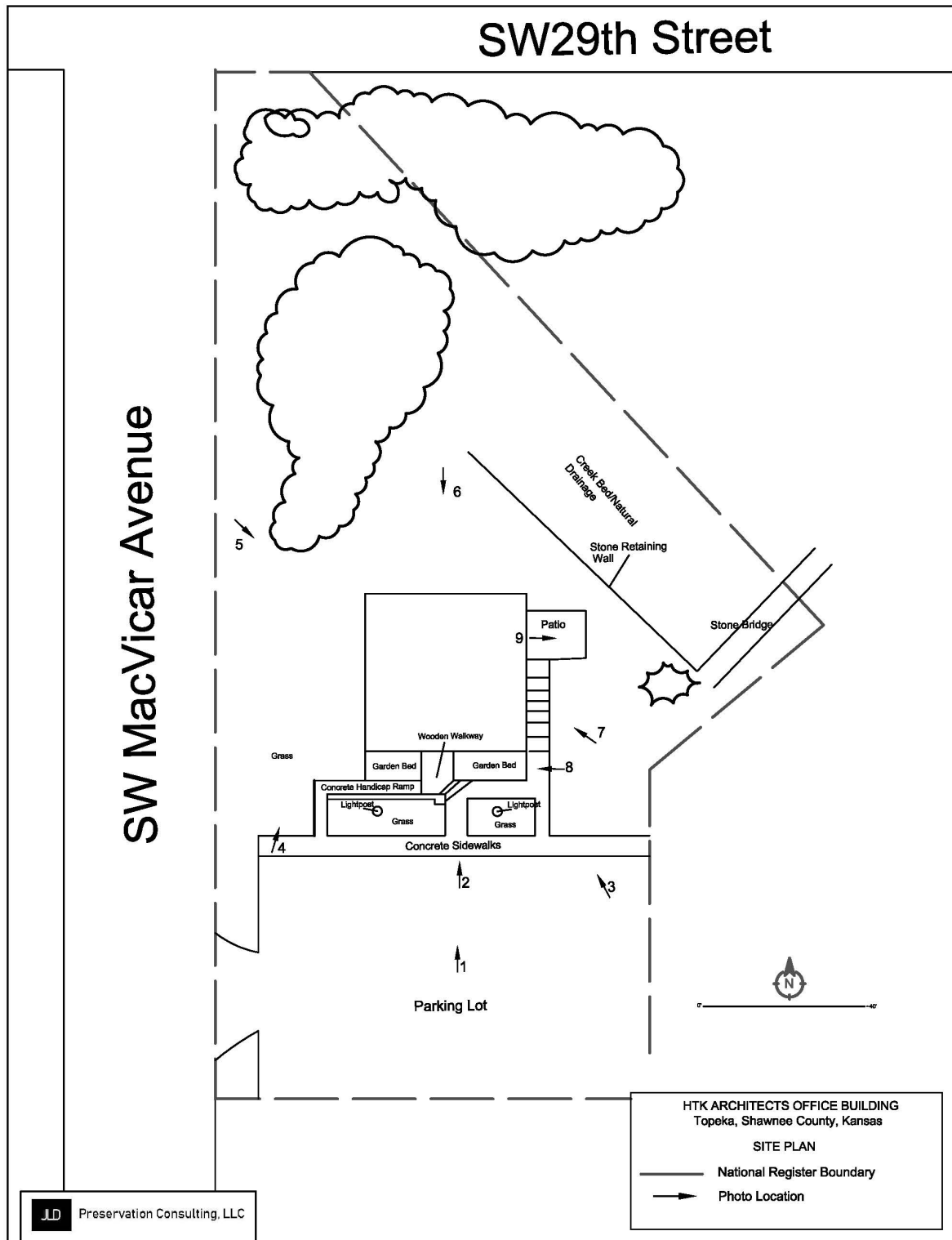


All map data subject to Shawnee County GIS data disclaimer. Parcel lines are not necessarily accurate and should not be used for legal purposes. SNCO GIS

E. Parcel Bounding with Building Coordinates and Aerial Underlay

HTK Architects Office Building
Name of Property

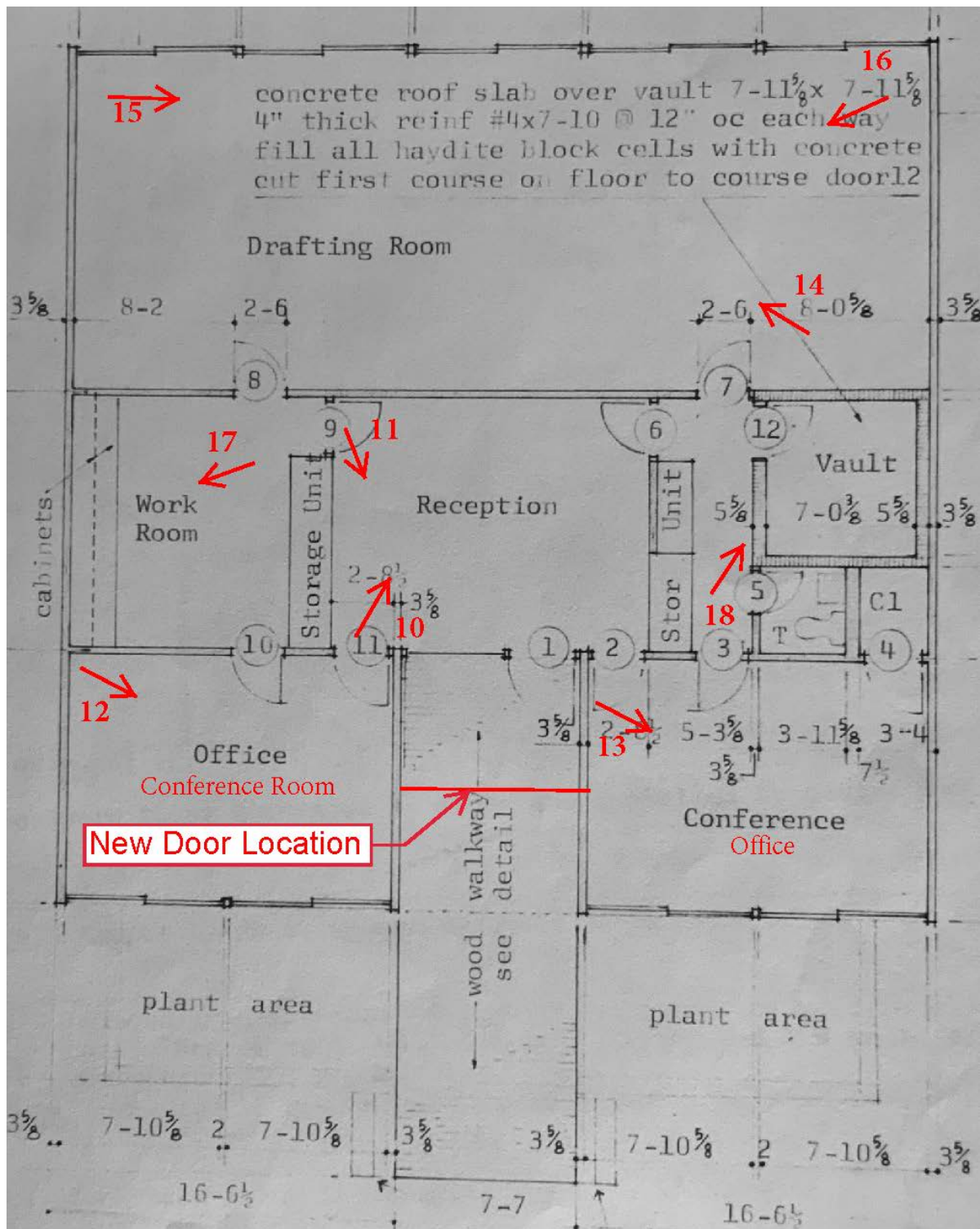
Shawnee, Kansas
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F. Site Plan with Exterior Photograph Locations

HTK Architects Office Building
Name of Property

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G. Original Interior Floor Plan (1966) with Photographs
Changes: The entry door was shifted forward to accommodate small lobby; Conference Room and Office locations changed

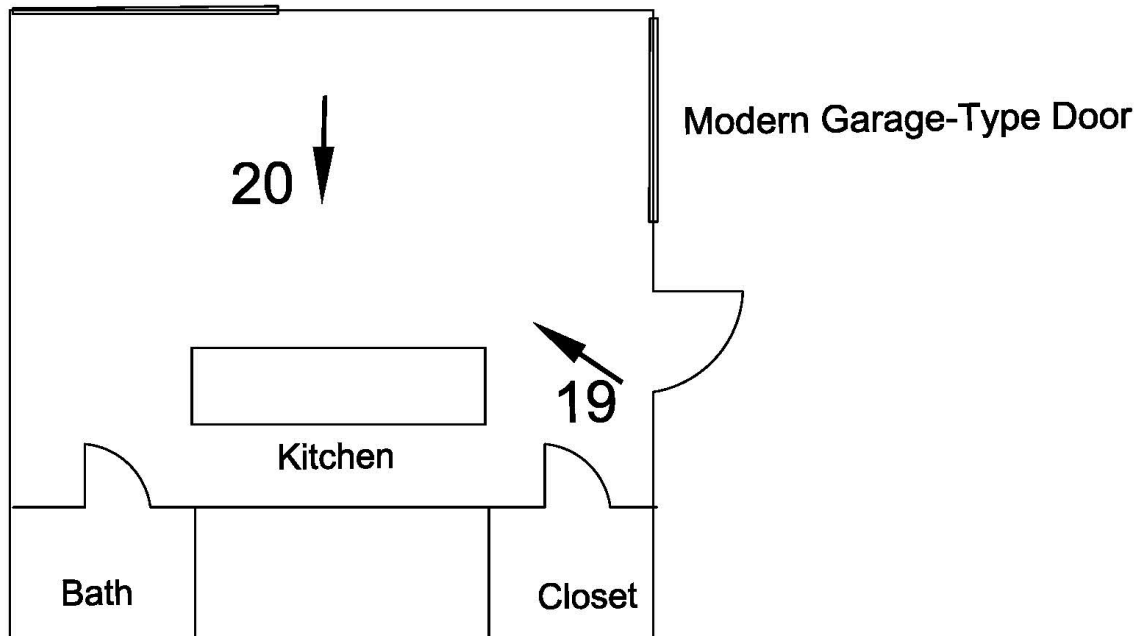
HTK Architects Office Building

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5 Full-Height Windows



Not to Scale

H. Sketch Map of Basement with Interior Photographs

HTK Architects Office Building

Shawnee, Kansas

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I. Architect Rendering of HTK Architects Office Building, 1966

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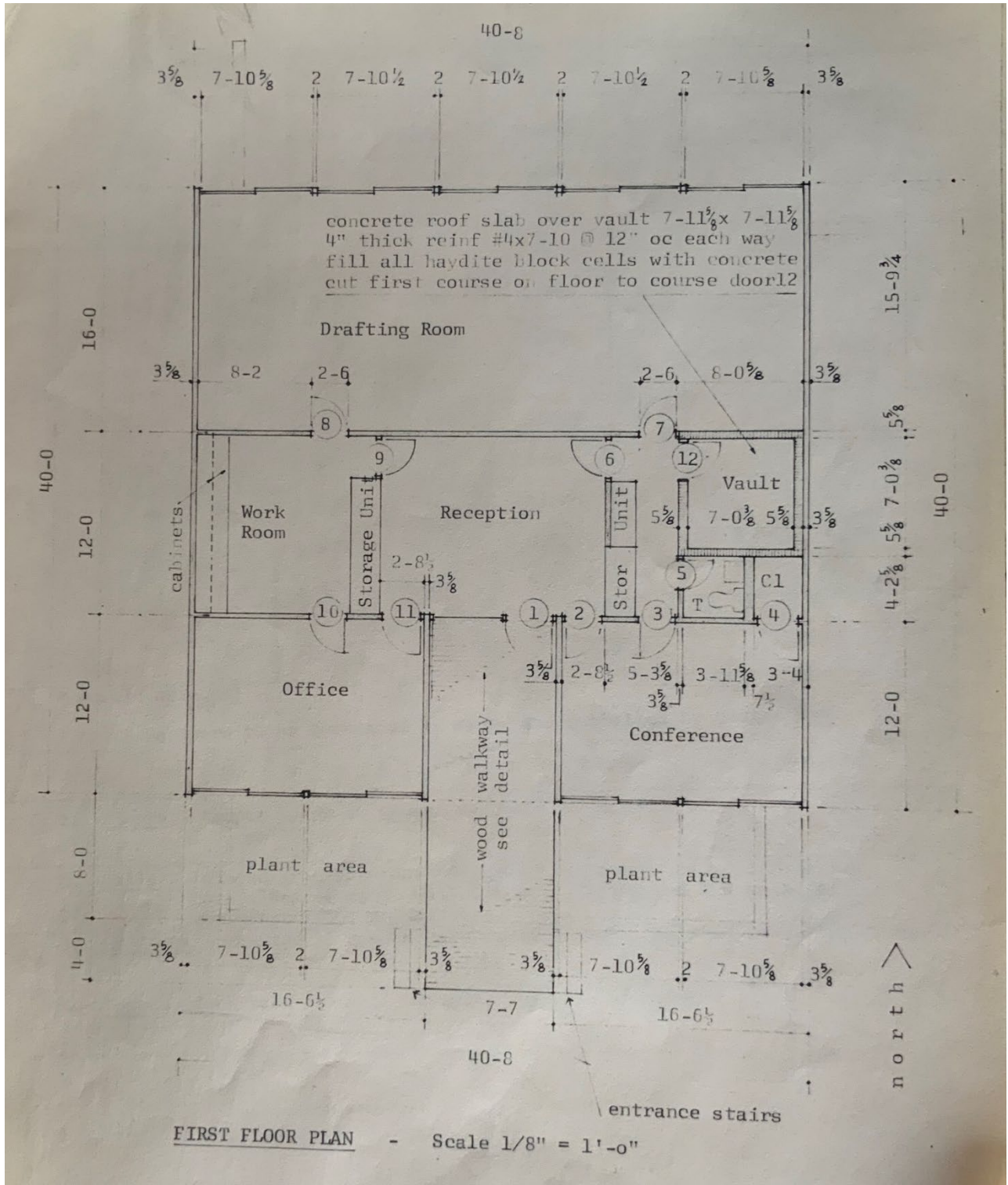


HTK Architects Office Building

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K. Construction Drawing, 1966 – First Floor Plan

HTK Architects Office Building

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D O O R S C H E D U L E							
Number	Width	Height	Thickness	Door Mtl	Frame Mtl	Core	Remarks
1	3-0	8-0	1 3/4	Birch	Birch	S	
2	2-6	8-0	1 3/8	Birch	Birch	H	
3	2-6	8-0	1 3/8	Birch	Birch	H	
4	2-6	8-0	1 3/8	Birch	Birch	H	
5	2-0	8-0	1 3/8	Birch	Birch	H	
6	2-6	8-0	1 3/8	Birch	Birch	H	
7	2-6	8-0	1 3/8	Birch	Birch	H	
8	2-6	8-0	1 3/8	Birch	Birch	H	
9	2-6	8-0	1 3/8	Birch	Birch	H	
10	2-6	8-0	1 3/8	Birch	Birch	H	
11	2-6	8-0	1 3/8	Birch	Birch	H	
12	2-6	6-8	1 3/4	H.M.	H.M.	-	* 3 hr fire door
13	3-0	6-8	1 3/4	Birch	W.Pine	S	
* Amweld or equal							
NOTE: Hardware to be furnished by owner and installed by contractor							
R O O M F I N I S H S C H E D U L E							
1.	<u>Floors</u> - Carpet by owner except concrete in vault.						
2.	<u>Walls</u> - Painted 1/2" gypsumboard drywall except painted haydite block both sides of vault walls, & ext. siding @ E & W walls of conference room and office.						
3.	<u>Ceilings</u> - Painted 1/2" gypsumboard drywall except painted concrete in vault.						
4.	<u>Base</u> - Birch base below 1/2" drywall. No base at haydite block.						

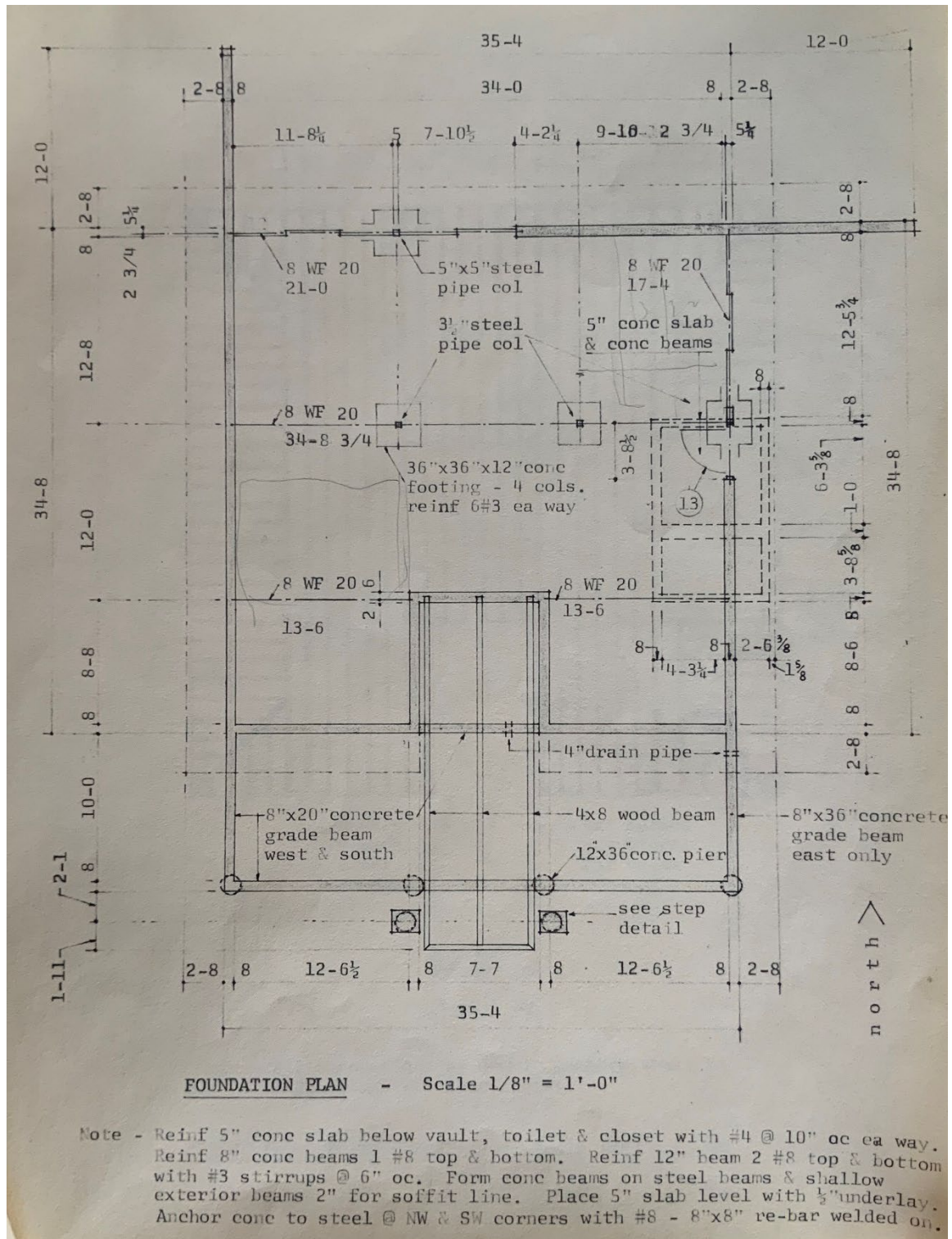
L. Door Schedule and Room Finish Schedule

HTK Architects Office Building

Name of Property

Shawnee, Kansas

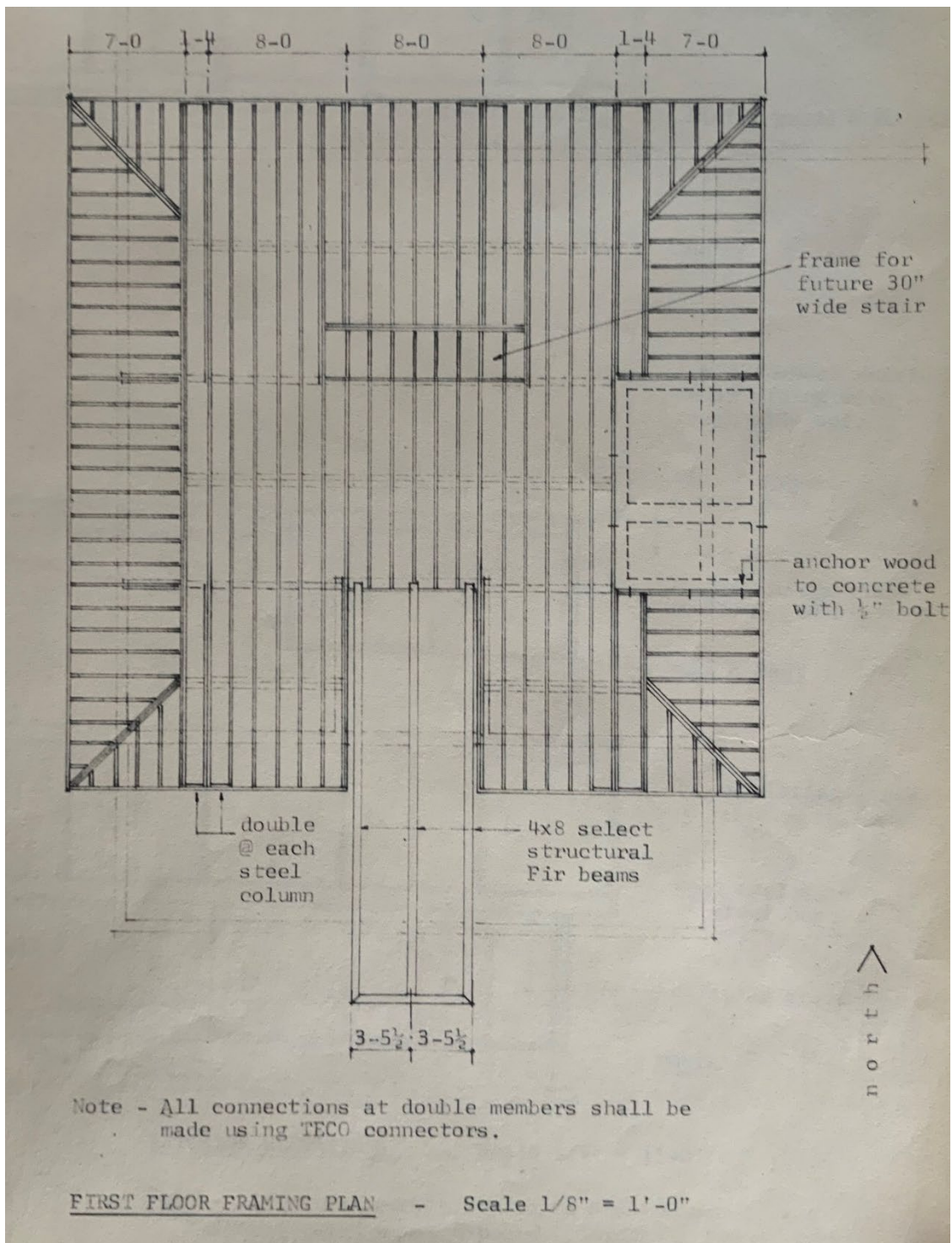
County and State



M. Construction Drawing,, 1966 - Foundation Plan

HTK Architects Office Building
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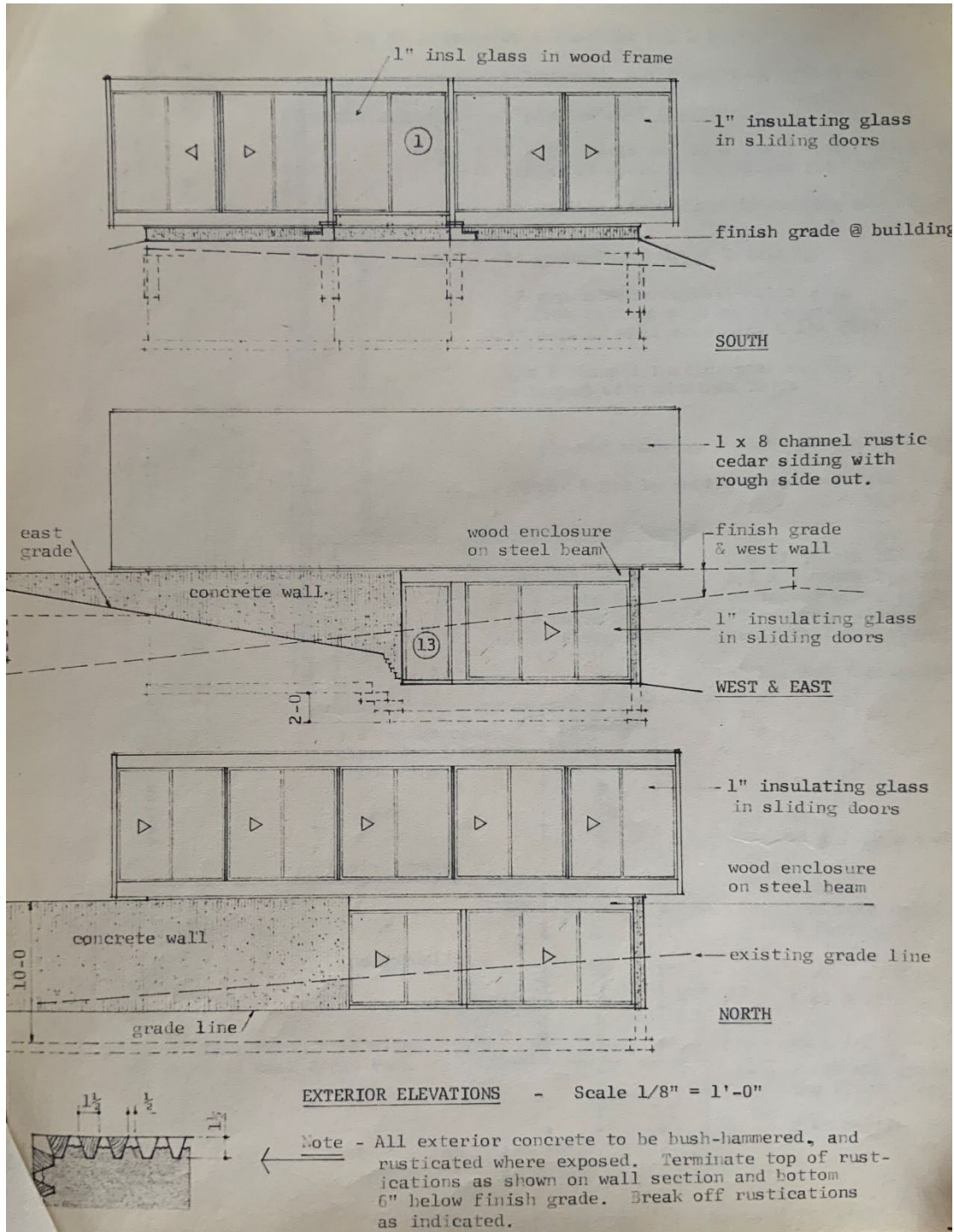
N. Construction Drawing, 1966 – First Floor Framing Plan

HTK Architects Office Building

Shawnee, Kansas

Name of Property

County and State



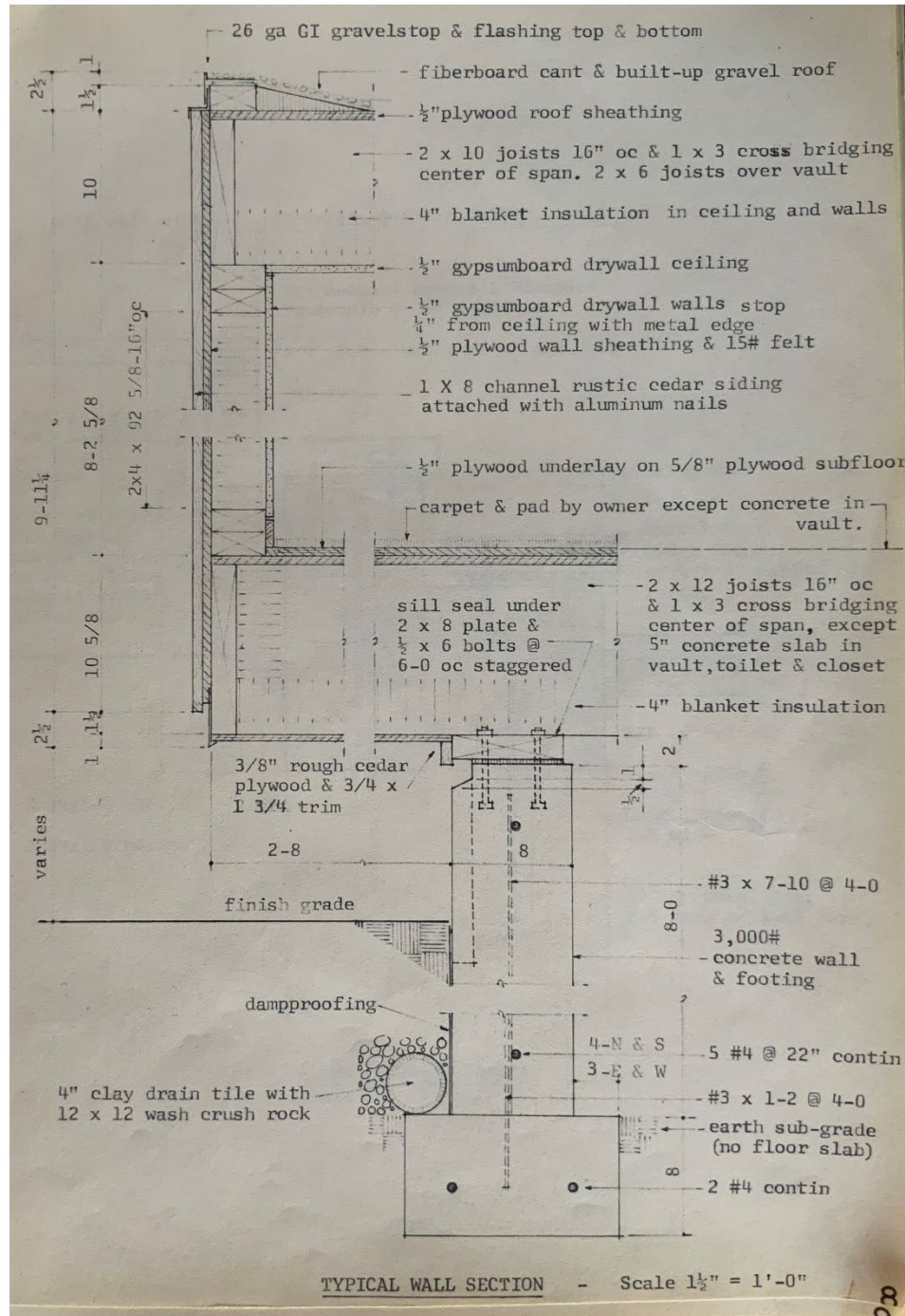
O. Construction Drawing, 1966 – Exterior Elevations

HTK Architects Office Building

Shawnee, Kansas

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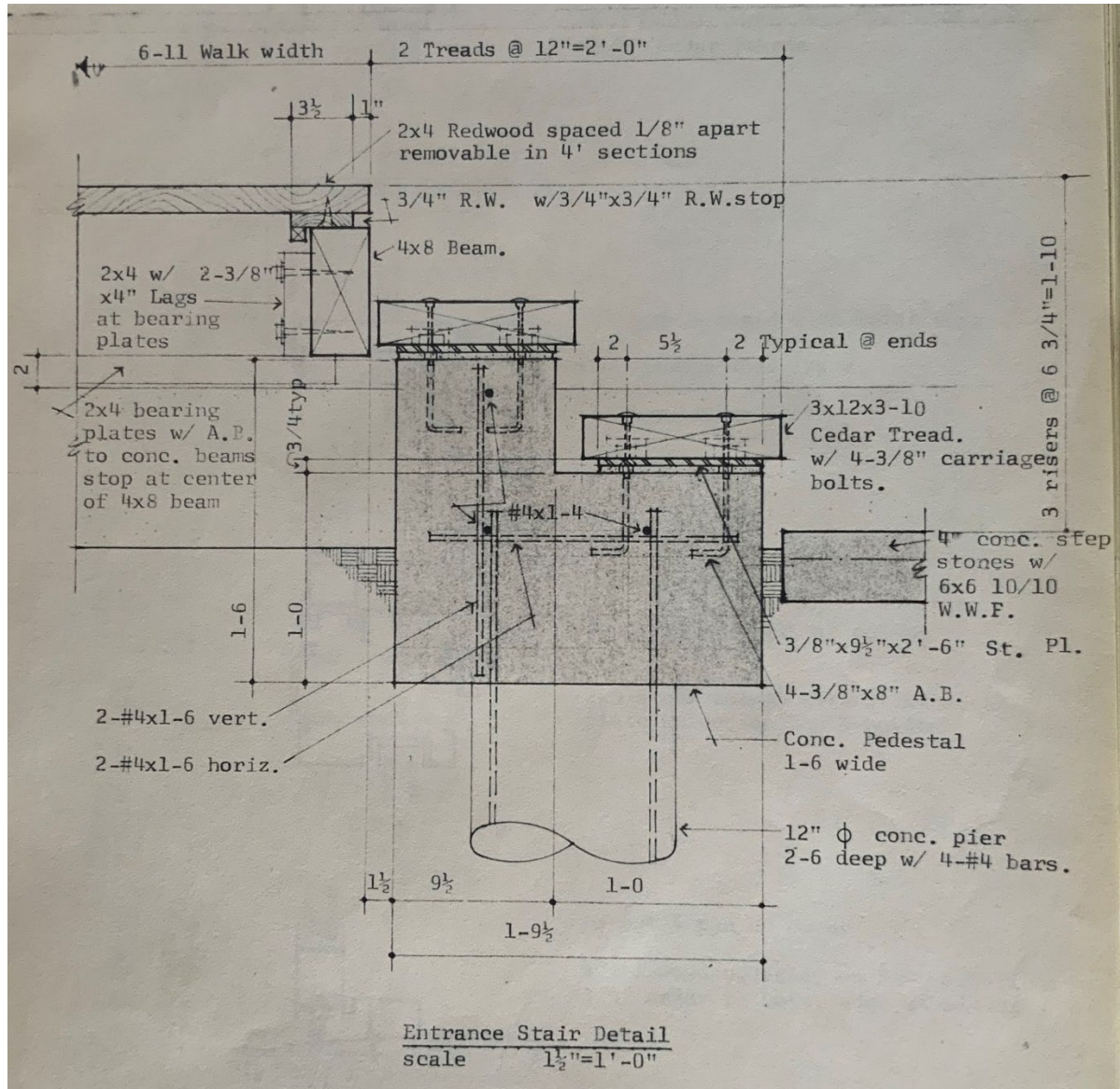
P. Construction Drawing, 1966 – Typical Wall Section

HTK Architects Office Building

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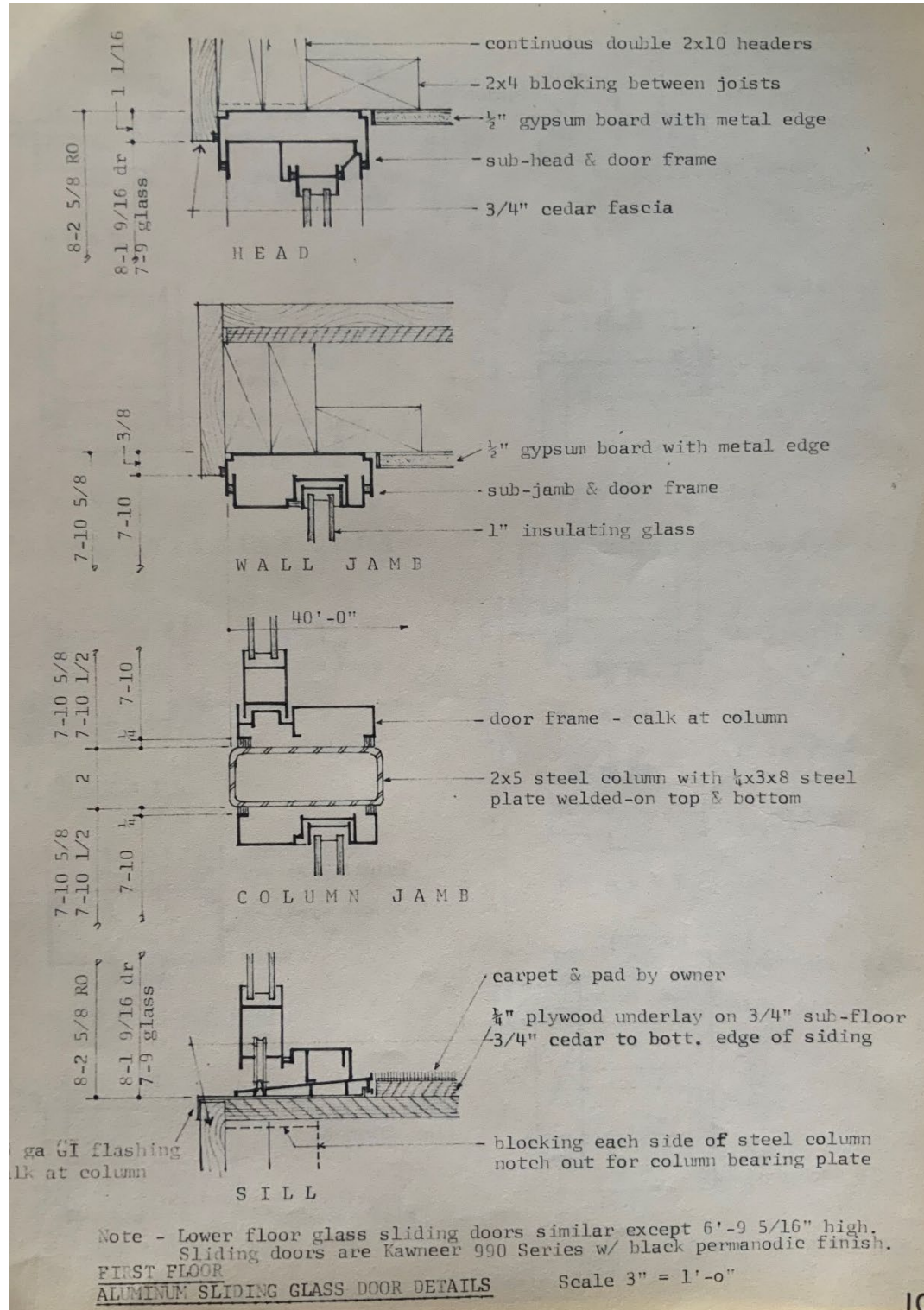
Q. Construction Drawing, 1966 – Entrance Stair Detail

HTK Architects Office Building

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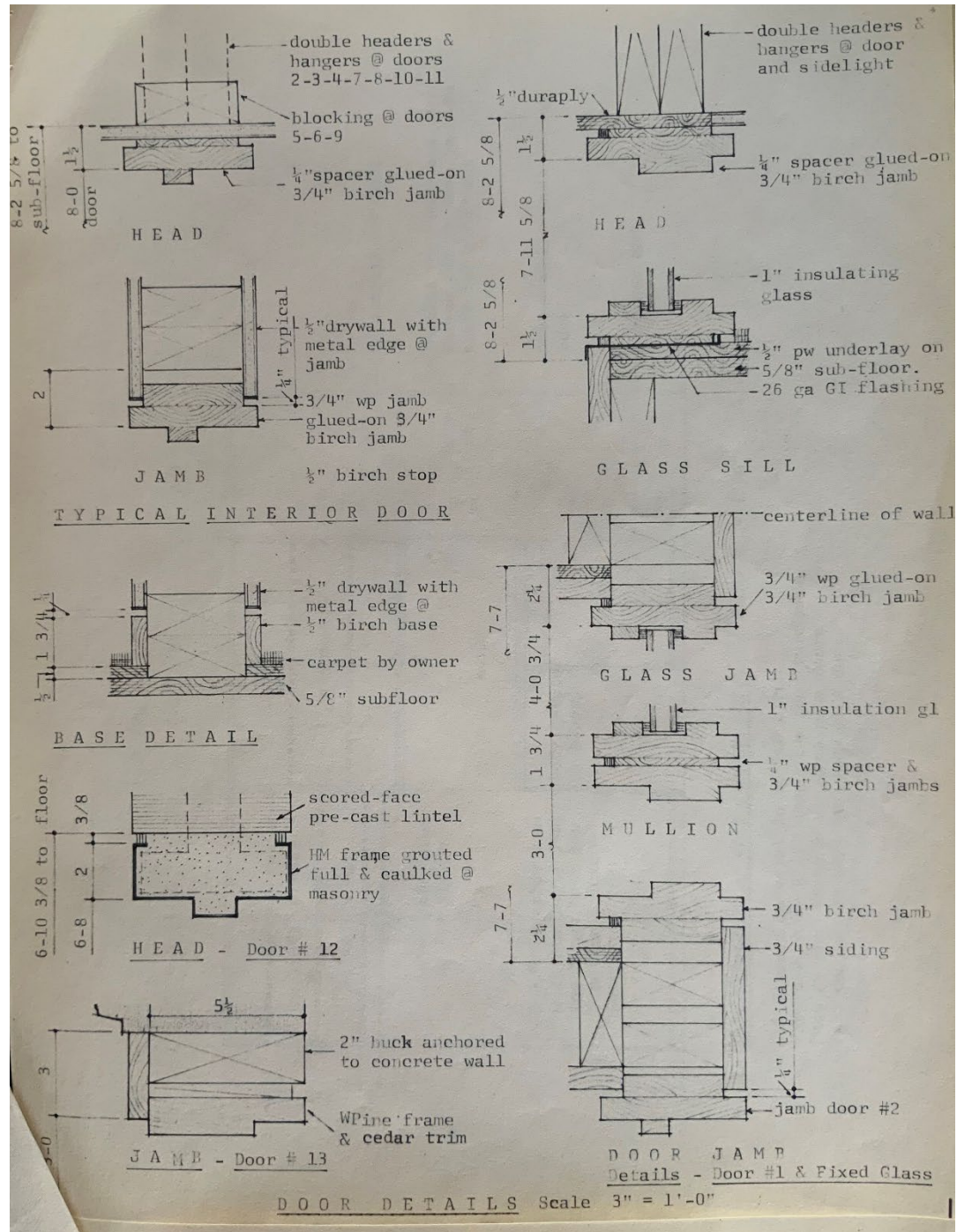
R. Construction Drawing, 1966 – Aluminum Sliding Glass Door Details

HTK Architects Office Building

Name of Property

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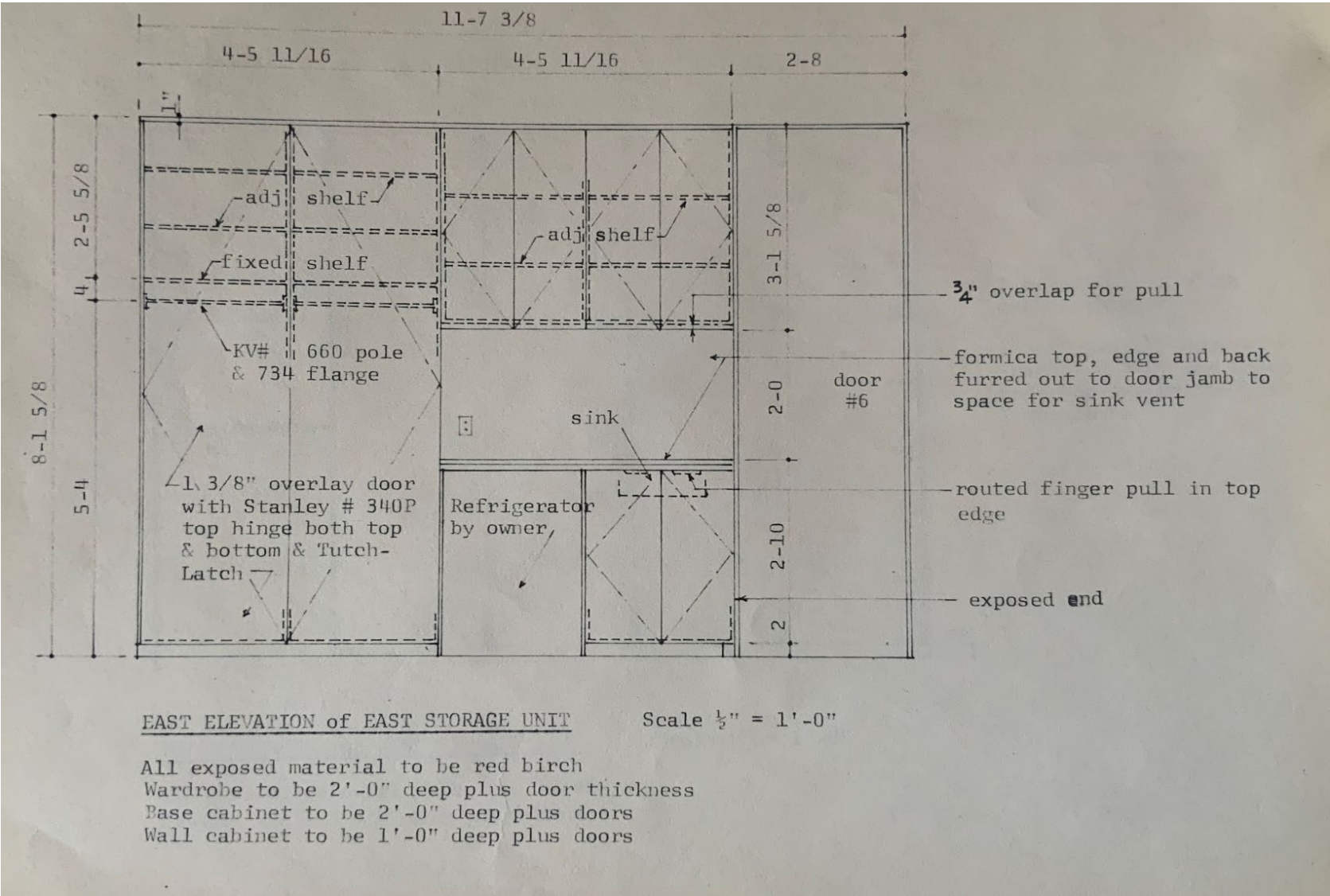
S. Construction Drawing, 1966 – Interior Door Detail

HTK Architects Office Building

Shawnee, Kansas

Name of Property

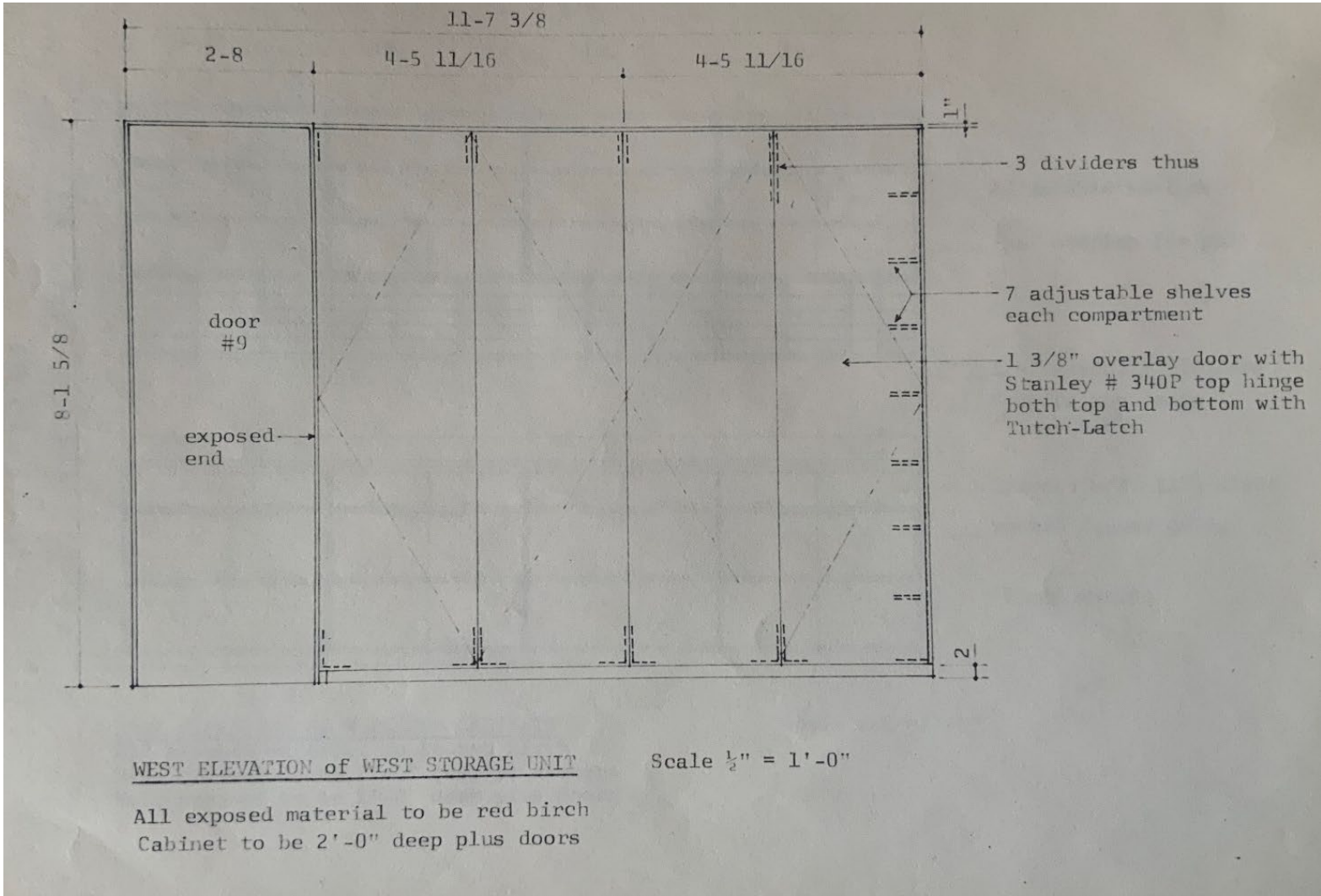
County and State



T. Construction Drawing, 1966 – East Elevation of East Storage Unit with Kitchenette

HTK Architects Office Building
Name of Property

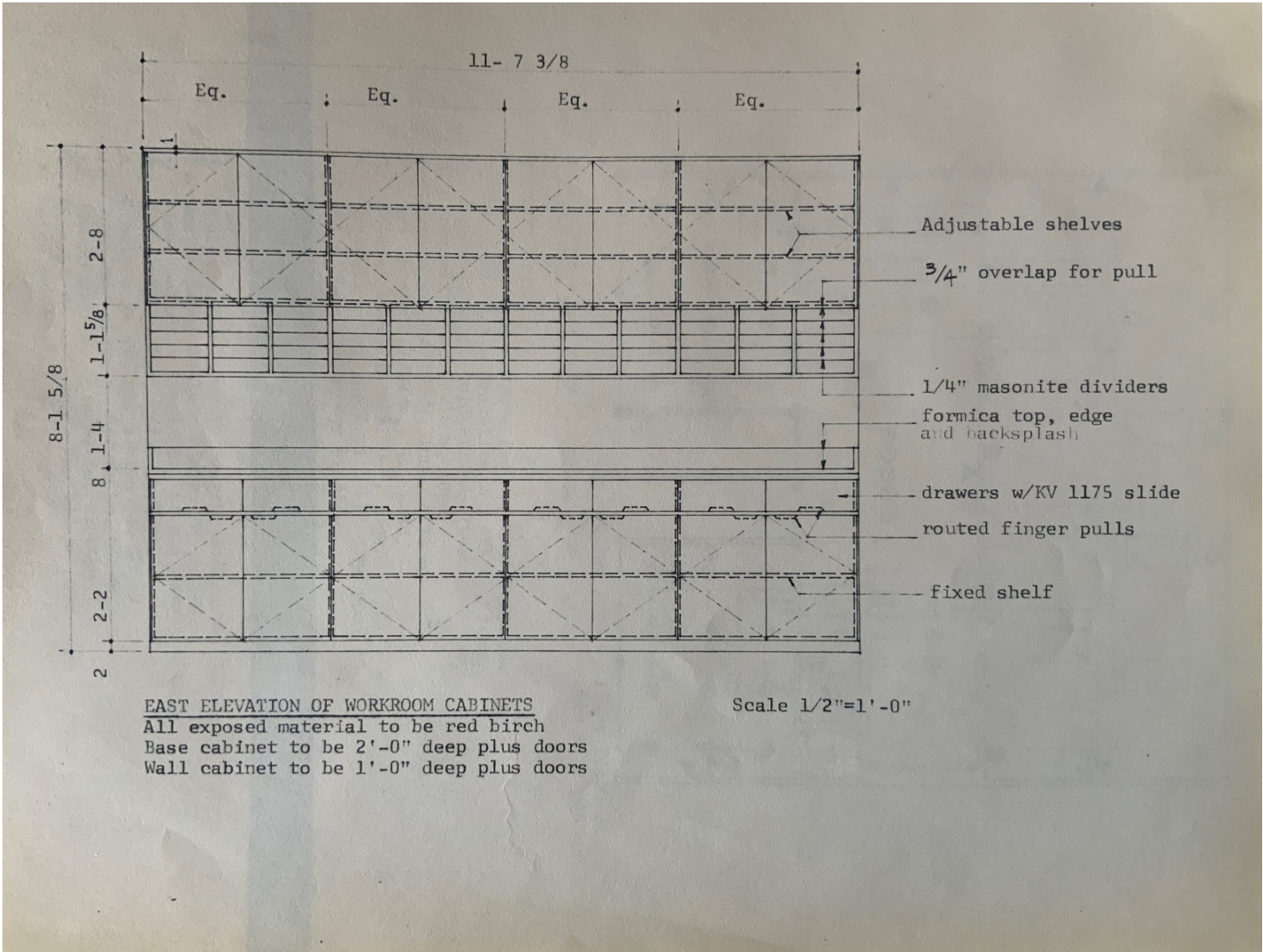
Shawnee, Kansas
County and State



U. Construction Drawing, 1966 – West Elevation of West Storage Unit

HTK Architects Office Building
Name of Property

Shawnee, Kansas
County and State



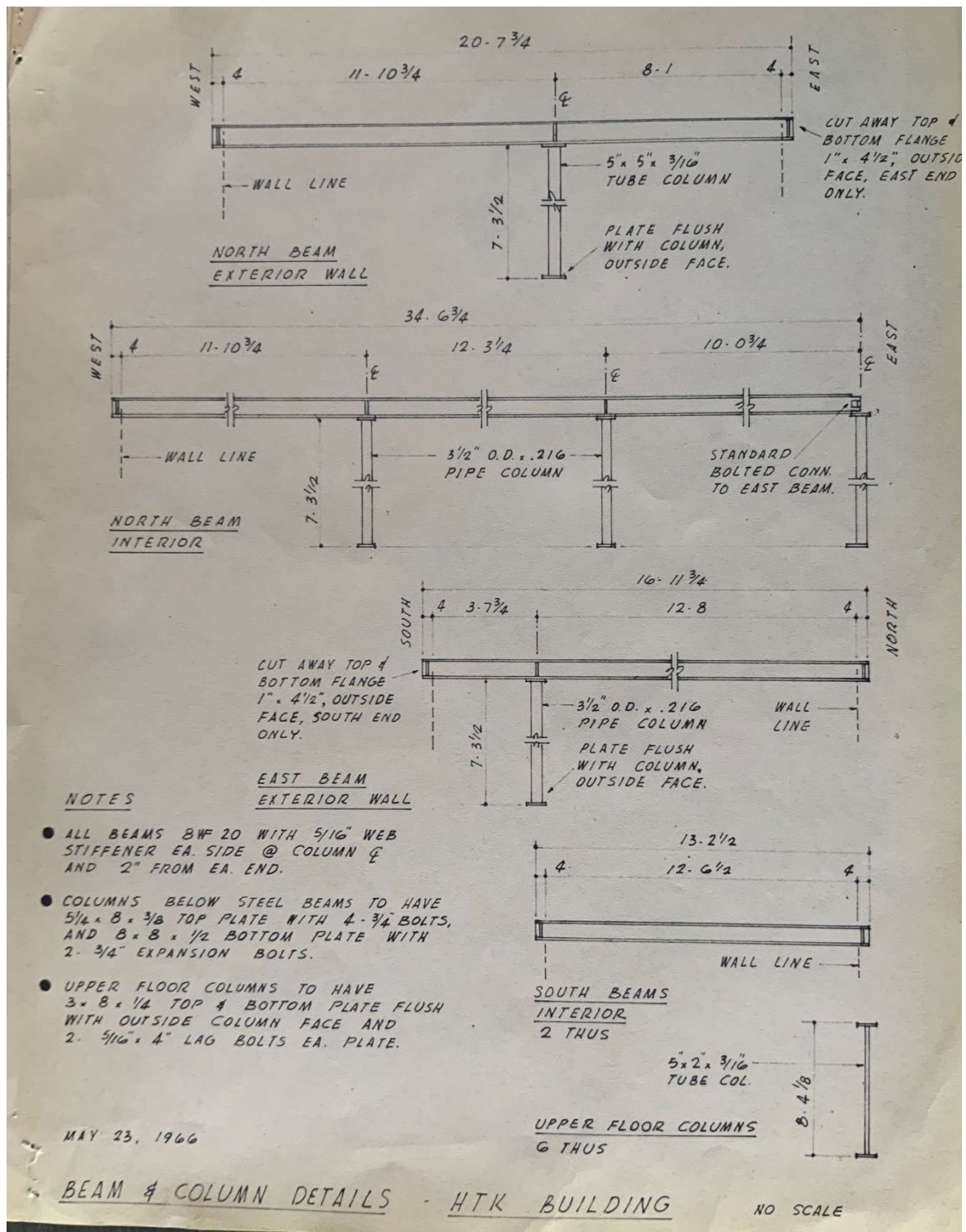
V. Construction Drawing, 1966 – East Elevation of Workroom Cabinets

HTK Architects Office Building

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W. Construction Drawing, 1966 – Beam & Columns Details

HTK Architects Office Building

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Paperwork Reduction Act Statement: This information is being collected for nominations to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C.460 et seq.). We may not conduct or sponsor and you are not required to respond to a collection of information unless it displays a currently valid OMB control number.

Estimated Burden Statement: Public reporting burden for each response using this form is estimated to be between the Tier 1 and Tier 4 levels with the estimate of the time for each tier as follows:

Tier 1 – 60-100 hours

Tier 2 – 120 hours

Tier 3 – 230 hours

Tier 4 – 280 hours

The above estimates include time for reviewing instructions, gathering and maintaining data, and preparing and transmitting nominations. Send comments regarding these estimates or any other aspect of the requirement(s) to the Service Information Collection Clearance Officer, National Park Service, 1201 Oakridge Drive Fort Collins, CO 80525.

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5. Classification

Ownership of Property

(Check as many boxes as apply.)

<input checked="" type="checkbox"/>	private
<input type="checkbox"/>	public - Local
<input type="checkbox"/>	public - State
<input type="checkbox"/>	public - Federal

Category of Property

(Check only **one** box.)

<input checked="" type="checkbox"/>	building(s)
<input type="checkbox"/>	district
<input type="checkbox"/>	site
<input type="checkbox"/>	structure
<input type="checkbox"/>	object

Number of Resources within Property

(Do not include previously listed resources in the count.)

Contributing	Noncontributing	
1	0	buildings
		sites
		structures
		objects
1	0	Total

Number of contributing resources previously listed in the National Register

N/A

6. Function or Use

Historic Functions

(Enter categories from instructions.)

DOMESTIC: multiple dwelling

Current Functions

(Enter categories from instructions.)

DOMESTIC: multiple dwelling

7. Description

Architectural Classification

(Enter categories from instructions.)

LATE 19TH AND EARLY 20TH CENTURY

REVIVALS: Mission/Spanish colonial

Materials

(Enter categories from instructions.)

foundation: CONCRETE

walls: BRICK

TERRA COTTA

roof: SYNTHETIC (RUBBER)

other: CLAY TILES

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Narrative Description

(Describe the historic and current physical appearance and condition of the property. Describe contributing and noncontributing resources, if applicable. Begin with a **summary paragraph** that briefly describes the general characteristics of the property, such as its location, type, Style, method of construction, setting, size, and significant features. Indicate whether the property has historic integrity.)

Summary

Located at 3311-3321 SW 10th Street in Topeka, Shawnee County, Kansas, the Evergreen Apartment building is surrounded by the main thoroughfare of 10th Street to the north, residential development to the west and south, and minimal commercial development to the east. Constructed in the Spanish Revival style, the building is a rectangular single-story brick-masonry building (mimicking rowhouses) and holds eleven one-bedroom units. The property is long and narrow with shorter north and south boundaries. The building runs parallel to the main thoroughfare and sits on the lot with some tree coverage. A few character-defining features are the terra cotta accents, decorative arched pediments over the entries, and tile roof. The building is maintained and in good condition, though there were updates to the property and units in the early 1980s. Most of the original materials are intact, with some exceptions in the kitchens and bathrooms. The building retains its historic location, setting, design, workmanship, feeling, and association.

Elaboration

Setting and Location

The Evergreen Court Apartments are located at 3311-3321 SW 10th Street in Topeka, Shawnee County, Kansas. Approximately three miles west of downtown Topeka, the Evergreen is surrounded by dense early-twentieth-century residential development. The predominant real estate along 10th St. are single-family homes and small businesses. One-half mile to the west is Gage Park, a large city park, Topeka Zoo, and a contemporary shopping center. The apartments sit on a slight hill in the northeast corner of the Frazier Subdivision. The property faces 10th Street, previously K-10 Highway, on the north.¹ The street runs east to west. The site offers a commanding presence due to its grade above street level. The parcel is ell-shaped with the apartments on the short end facing north with rear entrances and a sidewalk on the south side. To the east of the building, running perpendicular are a paved driveway and parking lot for the tenants. Topographically, the location is hilly with minor shifts in elevation and features grassland and potted trees and vegetation areas. The front yard has a long row of hardwood trees that parallel the street. There is also a new contemporary sign for the northeast corner apartments next to the front driveway. The sign is illuminated for night viewing.

Overview

The Evergreen Court Apartments is a one-story, brick masonry building that holds eleven one-bedroom apartments. It reflects the Spanish Eclectic Style of architecture that was prevalent in the 1920s and 1930s. The front of the apartments faces the north. Since the building is above the street level, there is a stair that leads up to each unit. The entire building is made of buff-colored brick with terra cotta accents. Topeka is dotted with other Spanish Revival Architecture examples, but the Evergreen Court Apartments are a good example of multi-family low-rise apartments. Typical of the Spanish Revival style is the use of columns, tile, and archways. The Evergreen has a few of these elements with square columns and capitols made of contrasting red brick. The openings are accented with decorative wooden archway pediments and terra cotta caps on the low peaked parapet above each door, typical features of the Spanish Revival style. All of the windows are original double-hung wood. The apartments were constructed in 1937 in the Depression-era, and so the usual and sometimes flamboyant decorative elements are minimal and more reflective of Spanish Revival than Mission Revival. Due to the restrictions in materials, the economy, and construction costs, the building uses articulated and small details to display the Spanish Revival style. The building is an uncommon example of the Spanish Revival style used for multi-unit residences in the area.

Exterior

The building has a single flat roof that slopes slightly to the south (rear), which is hidden behind an elaborate parapet on three sides. As viewed from the west, north, and east, the roofline is irregular and changes as it passes over each unit in a rhythmic pattern. Each unit's entrance is framed by brick pilasters rising to the top of the door, capped with a stylized red-

¹ Kansas State Highway System Showing Route Numbers and Construction Progress, Kansas State Highway Commission. Topeka, Kansas 1934. On collection at the Kansas State Archives, DaRT ID: 223493. Accessed April 2020.

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brick pattern, and then the roofline. Above the doors rest wooden decorative archway pediments. The parapet rises to a high point between each unit, with a low peak topped by terra cotta caps. Between these high points are low points topped with green glazed barrel tiles. This pattern is replicated across the building's north façade and wraps around the west and east sides. On either side of the raised panel door entries along the north elevation is a set of paired double-hung windows. Each unit has a storm door, not original to the building. The terra cotta accents are a diamond shape with a rectangle below pattern on either side of each unit's door and top framing. The decorative elements include pointed and rounded features in the Spanish Revival Style, walls capped in terra cotta and Spanish tile, and rain outlets made of metal and tile.

The west side of the building runs along Frazier St. and reveals the true shape and width of the construction. The west elevation conceals a slightly sloping roofline behind the masonry parapet capped with Spanish tile. The parapet on the west and throughout the building are approximately two to three feet above the roof. On this building, the details found in the parapets are key to defining the Spanish Revival architecture. The west elevation contains two double-hung wood windows for Unit #1, a row of gas meters, one for each unit. A contemporary wrought iron fence with a large gate and masonry corner posts was constructed along the property's west side. The wrought iron fence runs from the apartment building's northwest corner, then makes a turn to the south at the first corner post and proceeds to the gate post along Frazier St. From the gate, the fence continues to run parallel along Frazier St. until it reaches the south property line terminating in a final brick pier.

The south or rear elevation offers a simpler motif and is shorter than the front. Additionally, the rear elevation has fewer decorative elements than the front, and there are only three windows per unit. Each unit has a back entrance consisting of a simple metal door with raised panels. Above the doors are light fixtures that appear to be original. On the southeast corner is a chimney to vent the HVAC and water heating units; it is made of structural clay tiles. Along the south side of the property, the fence continues until it meets a gate at the building's southeast corner. Then the fence follows the edge of the parking lot on the east side to the back of the property. Having the rear of the property enclosed by the fence creates a courtyard-like setting and appearance. Mailboxes hang at each front door and are small metal hanging boxes painted black.

The east elevation is similar to the physical features of the west elevation. This includes overall design, materials, and the two windows for Unit #11. Along the east side are steps leading to a basement entrance made of simple concrete with steel pipe railing. The basement entry door is made of steel and painted. The basement itself has concrete walls and concrete flooring. The northeast corner of the apartments to the eastern property line is a driveway and parking lot for the tenants and guests. When originally constructed, the Evergreen Court Apartments had a line of wooden carports for the residents. At some time in the 1980s, the current owner had the carports torn down due to rot and termite damage. The existing driveway and parking lot are not included within the nominated boundaries, as they are not related to the building's architectural significance.

At the far south end of the parcel are an open field and a large storage building not included within the nominated property boundary because they are not associated with the apartments (Figure 1). However, for a brief period, the apartment caretaker resided there. The storage building was constructed in 1921, sixteen years before the Evergreen Court Apartments were constructed.² It served in various capacities through the years, once maintained as a mechanics workshop, for a short time the caretaker's cottage, and mostly a storage facility for antique automobiles. Due to the lack of association or significance with the Apartments, the parcel's southern half is considered separate and outside the nominated boundary.³

Interior Space

All eleven units have the same one-bedroom layouts: a kitchen, large combination living/dining room, single bedroom, and full bath, except unit 11, which is flipped. All units feature the same finishes with lath & plaster walls, white pine molding and baseboards, pine trim around windows and doors, and red oak floors. The rear entrance opens directly into the galley kitchen with the appliances and sink are on the western half of the room, along with a white pine pantry that extends from floor to ceiling. The kitchen cabinets are modern wood with laminate countertops and were undated sometime in the 1980s. The kitchens retain their original doors, casements, and butler's closets. Electrical outlets are underneath the kitchen cabinets.

² Paris, Tim, City Planner with the City of Topeka. Interview by David Swindell. Personal interview. Topeka, Kansas, 11 April 2019.

³ Sanborn Map Company. Topeka, Shawnee County, Kansas, 1913, Vol 1&2. Amended 1932,1935,1941,1942,1945.

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To the north of the kitchen is a combination living/dining room. There are four windows in this room, two double-hung pairs flank the front door. In the south wall that separates the kitchens from the living rooms sits a built-in telephone table. On the south side of the living room is a pair of large French doors that lead to a single bedroom. The doors are constructed from yellow pine and give a degree of grace and sophistication to each unit. Opposite the doors, along the south wall of the building, is a set of double-hung windows. Unit #1 has one additional window on the west wall. Some of the bedrooms have their original light fixtures, while others have modern replacements.

Along the east wall of the bedroom is the doorway to the bathroom. All of the bathrooms have the same basic floor plan, with only a slight difference. The vanities and casements are original to the building, made from the same yellow pine that runs throughout the units. Modern shower attachments were added in some of the units, and this was done in the last five-ten years. Not all of the sinks, toilets, and tubs seem to match in all of the units, and appear to have been changed as needed. There is a single-window over the tub. The bathroom floor consists of single-color linoleum. Most of the units have tile or laminate coverings on the walls. The original vanities are still intact, while the moldings and light fixtures appear to be original or historic replacements.

Overall Condition and Alterations

Throughout the years, the weather and regular wear and tear have taken their toll on the Evergreen. However, because of excellent materials and craftsmanship and proper maintenance through the years, the effects of deterioration remained quite minimal. Previous property owners employed a caretaker (for a short period) or hired competent professionals to make repairs. All existing windows are original double-hung wood and are deteriorating. Most need to be repainted, glazed, and weather-stripped. There are aluminum storm windows currently in place, installed sometime in the 1980s; they need to be cleaned and painted. There is minor deterioration in the masonry of the chimney that needs repointing. The screen windows are in disrepair and need to be cleaned, painted, and fixed as appropriate. Most of the original hardwood floors are in good condition. Eventually, all electrical and plumbing will be upgraded. These repairs are typical for a building this size and age. In the 1980s, most of the kitchens and some bathrooms were updated and now contain 1980s cabinetry, fixtures, and faucets.

Integrity

The Evergreen Court Apartments retain a high degree of all seven aspects of integrity. While the integrity of design and materials have been modified in the kitchens and bathrooms, these modifications are common and acceptable changes. Its historic identity is clearly conveyed by retaining the original character-defining features like the door archways, tile roof, and terra cotta accents. The building is in its original location and setting and maintaining its historic workmanship, feeling, and association. It is an excellent example of a Spanish Revival style apartment building in Topeka, Kansas.

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8. Statement of Significance

Applicable National Register Criteria

(Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing.)

- ☐ A Property is associated with events that have made a significant contribution to the broad patterns of our history.
- ☐ B Property is associated with the lives of persons significant in our past.

- ☒ C Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.

- ☐ D Property has yielded, or is likely to yield, information important in prehistory or history.

Criteria Considerations

(Mark "x" in all the boxes that apply.)

Property is:

- ☐ A Owned by a religious institution or used for religious purposes.
- ☐ B removed from its original location.
- ☐ C a birthplace or grave.
- ☐ D a cemetery.
- ☐ E a reconstructed building, object, or structure.
- ☐ F a commemorative property.
- ☐ G less than 50 years old or achieving significance within the past 50 years.

Areas of Significance

ARCHITECTURE

Period of Significance

1936-1937

Significant Dates

Significant Person

(Complete only if Criterion B is marked above.)

Cultural Affiliation

Architect/Builder

unknown

Period of Significance (justification)

The period of significance consists of 1936-1937 as those are the years of construction. The Evergreen Court Apartments is eligible for listing as a good example of the Spanish Revival Style, so its significance is derived from its construction.

Criteria Considerations (justification)

N/A

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Narrative Statement of Significance

(Provide a summary paragraph that includes level of significance, applicable criteria, justification for the period of significance, and any applicable criteria considerations.)

Summary

The Evergreen Court Apartments, constructed in 1937, are eligible for listing in the National Register of Historic Places under Criterion C for architecture. The building is an excellent local example of the Spanish Revival style, which is classified as a Late 19th to Early 20th Century style occurring between 1915-1940. The building retains a high level of integrity on the exterior and interior, which portrays its original design and construction. Its period of significance are the years of construction 1936-7. Key features of the property are its pedimented archways, tile roofing, and terra cotta accents. The Evergreen Court Apartments are a good example of the type, period, and method of construction. The Spanish Revival style influenced by the revivals of the Arts and Crafts movement was popular at the time of construction. These Depression-era or inter-war apartment buildings were constructed out of necessity for affordable housing and were designed to be simple and utilitarian. Sitting in its original setting, the building remains in its original location and retains its historic integrity and character-defining features.

Elaboration

Brief History of Topeka

Topeka, Kansas, is located in the northeast corner of the state in Shawnee County. It is a historic town established in 1854, which grew from a small town in the Kansas Territory to the state capital in 1861. Topeka was a stop along multiple transportation routes like the Oregon and California Trails and was a terminus for the Atchison Topeka and Santa Fe Railroad in 1886. The Santa Fe Railroad built shops in Topeka and opened a hospital to serve their workforce. In the years that followed, other railroads came to Topeka, including The Union Pacific, Rock Island, and Missouri Pacific. The city also hosted many light industrial businesses serving the railroads and agricultural customers. In the years after the Civil War, Topeka grew with service companies, providing insurance and banking.

The City began annexing surrounding communities to "assist in 'straightening' Topeka's irregular boundaries and street alignments," in 1920.⁴ By 1921, Topeka had approved five boundary expansions, to the north, east, and west.⁵ At the start of 1920, the city's population was 50,022; after the annexations and boundary increase, the population jumped 28% to 64,120 by 1930.⁶ Topeka, during the Depression-era, was hit with the same economic misfortune as the rest of the country. The population grew slowly for the next decade, only increasing to 67,883 according to the U.S. Census data. There were layoffs at the Santa Fe Railroad shops and offices, which was a major employer. The State of Kansas reduced the size of its workforce. Also, some small businesses in the downtown district closed their doors. The first half of the 1930s in the city was somewhat downcast as people adjusted and tried to stay afloat economically and psychologically.

By the mid-1930s, the economic situation in Topeka began to improve slightly. WPA projects at Sumner Elementary School in 1936 and Lake Shawnee in 1938, helped put needed money back into the community. These incentives, along with changes in banking and mortgage laws, helped people purchase homes or start new businesses. This economic activity helped push forward the demand for more clean, affordable apartments in the Topeka suburbs. In 1937, Tressa H. Fish chose to invest in the future by building the Evergreen Court Apartments.

Apartments and Housing in the 1930s

By the close of the 1930s in America, several factors were at work that slowly changed the economic future of the nation. By 1937, the unemployment rate had fallen to 14.9% after a previous high of 24.9% in 1934.⁷ At the same time, several

⁴ National Register of Historic Places, Fire Station No 7, Topeka, Shawnee County, Kansas, listed 2020; "Planning Board Would Add Territory to City Straightening Boundary." *The Topeka State Journal*, June 15, 1921., p.1

⁵ Ruth Keenoy, *Survey Report Collins Park Topeka, Kansas: Intensive Neighborhood Survey - 2017/2018* (St. Louis, Missouri 2018)

⁶ National Register of Historic Places, Fire Station No 7, Topeka, Shawnee County, Kansas, listed 2020.

⁷ Smiley, Gene. "Recent Unemployment Rate Estimates for the 1920s and 1930s." *The Journal of Economic History* Vol 43. No 2 (June 1983, Cambridge University Press): p.3

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New Deal banking reforms were beginning to make inroads into the housing industry. The government began changing lending laws and practices to help cut down on foreclosures and make refinancing more readily available for lower- and middle-class whites.⁸ The creation of the FHA loan program helped provide financial assistance through low-interest loans to qualified borrowers.⁹ "Historic policies such as redlining severely limited minority access to housing and financial tools and the long-term effect are still present today. Minorities and low-income households are more likely to be concentrated in areas with poor housing conditions."¹⁰ This activity helped bring on local activity in Topeka and across the nation as builders put in orders for goods and services.¹¹ The increase in demand for houses and multi-family units also pushed development into the suburbs at the same time transportation was becoming more affordable.¹² All these economic forces coming together at the same time helped change patterns throughout the country.

Before the onset of the automobile revolution in America, apartment units were often located in the core of most cities. This development came in response to the need for housing within easy walking distances to work and mass transit. Usually, these apartments in the inner city were vertical in construction due to the cost of land. The owners of these buildings also needed to pack families and individuals into tighter spaces to increase profitability. These conditions made life more difficult due to overcrowding and all the social issues associated with it.

Communities began expanding with thoroughfares and parks influenced by the "City Beautiful" movement between 1890-1920. During this period, the idea and design of architecture changed from an idyllic Victorian elegance to more utilitarian and economically feasible designs. The elaborate designs were simplified and made more accessible to the working-class. Common multi-family structures were developed, holding around four to twelve units.¹³ "Apartment buildings began as tenement style structures most commonly found in large cities, after the turn of the century the idea of urbanization influenced smaller towns, thus bringing in affordable housing – through apartment buildings – into smaller communities."¹⁴

From 1880-1940, the eclectic or Arts and Crafts movement in architecture took place, which focused on quality and craftsmanship. It influenced residential housing and included the revival of classical styles that many Americans embraced. These new apartments were more horizontal, single-story structures in design. They had larger floor plans in some cases and more space for people to spread out. One additional factor made these units even more desirable - having ample parking for cars. With a car, a person had the right to move out beyond bus and trolley lines. Also, the layout of the apartments near the street or highway, made it easier for folks to carry in groceries and children with fewer steps. Mailboxes were also situated so people could retrieve their mail quickly and return to their cars.

Architecture: Spanish Eclectic/Revival Style

The Evergreen Court Apartment building is eligible at the local level under Criterion C, as an excellent example of a low-rise Spanish Revival style architecture in Topeka. The building features characteristics of the Depression-era apartment buildings using minimal ornamentation, it is a reasonable distance from downtown as a reflection of the City's expansion period the decade before, and by providing the basic necessities of the era, a small one-room apartment with private kitchen and bathroom. Although common trends in larger American cities during the Depression-era may have occupied vertical space, rather than horizontal; the trend in Kansas at the time was to provide suitable, comfortable, and affordable living which happened to be on the outskirts of town. The buildings and architecture moved away from the large ornate and spacious structures that were unaffordable in a low economic time and focused on more utilitarian uses and practical

⁸ Gross, Terry. "A 'Forgotten History' of How the U.S. Government Segregated America." *NPR* May 3, 2017. Accessed April 2020. <https://www.npr.org/2017/05/03/526655831/a-forgotten-history-of-how-the-u-s-government-segregated-america>

⁹ Butkiewicz, James L. "Fixing the Housing Crisis." *Forbes* April 30, 2009. Accessed April 2020. <https://www.forbes.com/2009/04/30/1930s-mortgage-reform-business-butkiewicz.html?sh=156bc1ec9c02>

¹⁰ "Topeka Housing Market Study." Prepared for City of Topeka, Kansas. February 2020.

¹¹ Mitchell P. James. NONFARM HOUSING STARTS 1899-1958. United States Department of Labor, Bulletin No.1260, 1959. p15-17. Accessed January 2020. <https://fraser.stlouisfed.org/title/nonfarm-housing-starts-1889-1958-4543>; Gottlieb, Manuel. Estimate of Residential Buildings, United States, 1840-1939. National Bureau of Economic Research, 1964. Chart 13, p.60. Accessed January 2020. <https://www.nber.org/system/files/chapters/c1790/c1790.pdf>; Chase E. Arnold. & Schneider W. Walter. United States Department of Labor & United States Department of Commerce, 1954. Construction Volume and Costs, 1915-1956. Table 1 p1; Wholesale Prices of Building Materials, Annual Indexes, 1915-56. P.58. Construction Contract Awards, Table 19. P. 61.

¹² Chandler, Alfred D. Jr. The Visible Hand: The Managerial revolution in American Business. The Belknap Press of Harvard University, 1977. P.244 & 280.

¹³ National Register of Historic Places, *Working-Class and Middle-Income Apartment Buildings in Kansas City, Missouri*, Kansas City, Missouri. Reference #64500993, Section E, page 9

¹⁴ National Register of Historic Places, *Alfred Fete Apartments*, Horton, Brown County, Kansas., p. 9

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design with small units and private baths. The inter-war years faced a shortage of affordable housing due to the expanding population but also the lack of materials and qualified builders. Several cities saw the demand grow, which then encouraged new affordable developments. "During this same period, the promotion of hygiene and sanitation – including running water and private toilets, health benefits from access to adequate sun, and proper ventilation – influenced the design of apartment buildings as well as the entire built environment."¹⁵

The Spanish Eclectic/Revival style was a common style during the early twentieth century along with other revival designs like Colonial, Mission, or Italian Renaissance. Before the style became popularized by Bertram Grosvenor Goodhue, the common location for the style was in Hispanic influenced areas like California, Florida, Texas, and Arizona. As the form expanded beyond the southwest and Florida, the style became simplified and less common.¹⁶ During World War II, architects traveled to Spain to learn of the typical characteristics and elements. Most important was the massing of buildings. Common attributes of this style are stucco or light-colored masonry structures, unglazed wall tiles, low-pitched roofs, tile roofs, archways over main doors and windows, low-relief carvings on windows and door trim, columns or pilasters, wrought iron or carved wood, and French doors.¹⁷ Evergreen Court Apartments are a good representation of the Spanish Revival style in which its key character-defining features include a symmetrical façade, tile roof accents, French doors on the interior, terra cotta accents, and decorative arched-pediments over the entry doors. The structure is of a buff-brick construction, with tile and terra cotta accents, decorative arches, a flat roof behind a decorative parapet with rhythmic height changes, and simple wood trim on the doors, windows, and moldings.

Currently, there are thirteen inventory records for historic buildings in Topeka that are designed in the Spanish Eclectic/Revival style. Several of the buildings are downtown commercial buildings constructed within the commercial core (Novelty Vaudeville Theater – demolished, 116 SE 8th Ave, Marks Building, 600 SW 10th St, Namar Building, and Pennant Building). A few others are residential properties still in the historic expansion areas of Topeka (Bullene-Endlich House, and Helen McClintock House). Two of the structures are Fire Stations built during the Depression-era as a response to the safety of the expanding city (Fire Station No 2 & No 7). The Evergreen Court Apartments is the only apartment building in the currently documented resources. It is a good example of the style and a representative of the style for use as multi-family housing.

Evergreen Court Apartments

The properties around the Evergreen at the time of construction in 1937 resembled a sparsely settled urban community with many vacant lots.¹⁸ During that era, the region along 10th St. had a mixed rural and urban look. The appearance at the time was one with new construction along-side greenhouses to the east and the Ned Fleming Horse Ranch at 10th and Gage Blvd.¹⁹ This general area was the western edge of Topeka during the 1930s. Once completed in 1937, the Evergreen Court Apartments became home for professionals. From 1938 to 1940, the Evergreen hosted a Civil Engineer and a Construction Engineer.²⁰ From the years 1942 to 1945, the Apartments were home to several federal and civil employees, including laborers, pipefitters, oilers, airways keepers, and other associated trades and crafts. These individuals were engaged in work during the operation of the Topeka Army Air Base, the supply depot and various defense contractors throughout and around the city.²¹ During the 1950s, several college students lived at the apartments.²²

The main driving force behind the Evergreen Court Apartments was Tressa H. Fish. She was a local real estate entrepreneur who had a keen passion for developing and renting properties. In 1922, she purchased the lots in the Frazier subdivision, where the current building now sits. After using the lots for collateral on other projects, Mrs. Fish finally decided to build on the site in 1936.²³ Before the apartments were constructed, Mrs. Fish obtained 38 building permits to place refrigerated railroad cars on the 10th and Frazier property on February 9, 1936.²⁴ However, the Topeka City

¹⁵ National Register of Historic Places, *Victor Court Apartments*, Wichita, Sedgwick County, Kansas, Listed June 27, 2014., p 7

¹⁶ Virginia Savage McAlester, *A Field Guide to American Houses* (New York: Alfred A Knopf, 2013), 522.

¹⁷ National Register of Historic Places, *Victor Court Apartments*, Wichita, Sedgwick County, Kansas, Listed June 27, 2014., p 8

¹⁸ ¹⁸ Sanborn Map Company. Topeka, Shawnee County, Kansas, 1942-45, Vol 2 p. 135.

¹⁹ Ibid.

²⁰ Polk R.L. Polks Topeka Shawnee County, Kansas City Directory Kansas City: R.K. Polk & co. 1938. P.509, Polks 1940. p586.; Also 1940 U.S. Census. Note: the 1940 Census showed occupation, but not the employer.

²¹ Polks. 1942.p.530

²² Anderson, Nels. "A conversation with Nels Anderson." Interview by David Swindell, (7 March 2019).

²³ Topeka State Journal (Topeka), 10 February 1936.

²⁴ Topeka State Journal (Topeka), 9 February 1936

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Commission blocked her move by invoking a city house moving ordinance.²⁵ At this point, Mrs. Fish switched gears and came away with the same number –38 permits for small rental apartments. Of the 38 permits issued, only 11 units were built. Construction began in 1936, and the building was completed in 1937; based on the research for this nomination, no architect or designer was found.

The Evergreen Court Apartments are designed in the Spanish Revival Style of the early 1900s. The Evergreen Court Apartment building is eligible for listing in the National Register of Historic Places under Criterion C for its architecture. By the 1930s, a definite population trend had taken place in the city of Topeka. Western and southern Topeka had grown the most as the city shifted and moved outwardly.²⁶ Topeka opened Highway 40, the main thoroughfare through town in 1926, and Kansas State Highway 10 in 1929. By the middle 1930s, neighborhoods had grown as far southwest as 21st Street and Gage Boulevard.²⁷ The Evergreen Court Apartments are a good example of the type, period, and method of construction. The Spanish Revival style influenced by the revivals of the Arts and Crafts movement was popular at the time of construction. These Depression-era or inter-war apartment buildings were constructed out of necessity for affordable housing and were designed to be simple and utilitarian. Sitting in its original setting, the building remains in its original location and retains its historic integrity and character-defining features.

²⁵ Topeka State Journal (Topeka), 9 February 1936

²⁶ Population. U.S. Note: According to the Census date, Topeka grew from 50,022 in 1920, to 54,120 in 1930, to 67,833 in 1940.; Insurance Map of Topeka Kansas. New York: Sanborn Map co. 1913, Vol 1 & 2, amended 1932, 1935, 1941, 1942, 1945. Note: Notice the difference in the shaded areas in Range 2. Maps 3 & 4.

²⁷ Sanborn Map Company. Topeka, Shawnee County, Kansas, 1913, Vol 1&2. Amended 1932,1935,1941,1942,1945. Note: Notice the difference in the shaded areas in Range 2. Maps 3 & 4.

Evergreen Court Apartments
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9. Major Bibliographical References

Bibliography (Cite the books, articles, and other sources used in preparing this form.)

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Polk Directory Kansas City

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Sanborn Map Company. Topeka, Shawnee County, Kansas, 1913, Vol 1&2. Amended 1932,1935,1941,1942,1945.

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"Topeka Housing Market Study." Prepared for City of Topeka, Kansas. February 2020.

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Virginia Savage McAlester, *A Field Guide to American Houses* (New York: Alfred A Knopf, 2013), 522.

Previous documentation on file (NPS):

☐ preliminary determination of individual listing (36 CFR 67 has been requested)
☐ previously listed in the National Register
☐ previously determined eligible by the National Register
☐ designated a National Historic Landmark

Primary location of additional data:

☐ State Historic Preservation Office
☐ Other State agency
☐ Federal agency
☐ Local government
☐ University

Evergreen Court Apartments

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____ recorded by Historic American Buildings Survey # _____
____ recorded by Historic American Engineering Record # _____
____ recorded by Historic American Landscape Survey # _____

____ Other
Name of repository: _____

Historic Resources Survey Number (if assigned): _____

10. Geographical Data

Acree of Property Less than one

Provide latitude/longitude coordinates OR UTM coordinates.

(Place additional coordinates on a continuation page.)

Latitude/Longitude Coordinates

Datum if other than WGS84: _____

(enter coordinates to 6 decimal places)

1	<u>95.7199347</u>	<u>39.0512246</u>	3	<u>95.7189445</u>	<u>39.0509785</u>
	Latitude:	Longitude:		Latitude:	Longitude:
2	<u>95.7189409</u>	<u>39.0512158</u>	4	<u>95.7199485</u>	<u>39.0509800</u>
	Latitude:	Longitude:		Latitude:	Longitude:

Verbal Boundary Description (describe the boundaries of the property)

The West 80 ½ feet of Lot No. 4 and all of Lots 5 and 6 in Frazier's subdivision of a part of the southwest quarter of Section 35, Township 11, South of Rowge 15, East of the 6th P.M., in Shawnee County, Kansas. The north boundary runs along lot line at 10th St, Frazier Ave lot line to the west, ten feet to the east of the apartment building (up to the driveway), and approximately 10 feet south from the back of the apartment and including the sidewalk.

Boundary Justification (explain why the boundaries were selected)

The following areas from lots 4,5, and 6 retain their integrity. This area contains the following boundaries: to the north, 10th St.; to the west, Frazier Ave.; to the east, the eastern end of the rowhouse next to the driveway entrance (approximately 10 feet); to the south, the sidewalk running parallel to the back entrances (approximately 10 feet). This boundary is limited to the apartment building alone as the significance of the property is its architectural style. Other historic features (carport, mailboxes) were previously removed circa 1980. The open land to the south beyond the parking lot is not associated with the apartments and has been used for other purposes over the years. The apartment is the last remaining property that retains historic integrity and is associated with the architectural significance.

11. Form Prepared By

name/title Mr. David Swindell (edits by KS-SHPO)

organization _____ date _____

street & number 932 SW Oakley Ave. telephone 785-233-8103

city or town Topeka state Kansas zip code 66606

e-mail russ932@att.net

Property Owner: (complete this item at the request of the SHPO or FPO)

name Don Hanrahan

street & number 5530 SW West DR telephone 785-273-4160

Evergreen Court Apartments

Name of Property

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city or town Topeka state KS zip code 66606

Paperwork Reduction Act Statement: This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C.460 et seq.).

Estimated Burden Statement: Public reporting burden for this form is estimated to average 100 hours per response including time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Office of Planning and Performance Management, U.S. Dept. of the Interior, 1849 C. Street, NW, Washington, DC.

Additional Documentation

Submit the following items with the completed form:

Photographs

Submit clear and descriptive photographs. The size of each digital image must be 1600x1200 pixels (minimum), at 300 ppi (pixels per inch) or larger. Key all photographs to a sketch map or aerial map. Each photograph must be numbered, and that number must correspond to the photograph number on the photo log. For simplicity, the name of the photographer, photo date, etc. may be listed once on the photograph log and doesn't need to be labeled on every photograph.

Photograph Log

Name of Property: Evergreen Court Apartments
City or Vicinity: Topeka
County: Shawnee State: Kansas
Photographer: Bryna Hanrahan
Date Photographed: October 2020

Description of Photograph(s) and number, include description of view indicating direction of camera:

Photo Number	View	Description
#1	W	Overview of front façade
#2	W	Overview of front façade
#3	W	Overview of landscaping on the northside
#4	S	Closeup of entrance to a unit
#5	E	West façade
#6	W	East façade
#7	--	Closeup of mailboxes and brickwork
#8	NW	View of typical living room toward exterior walls
#9	SE	View of typical living room toward bedroom
#10	SW	View of typical living room toward kitchen
#11	NE	View of typical living room toward interior wall
#12	N	View of kitchen and updated cabinetry
#13	S	View of kitchen toward back entrance
#14	N	View of kitchen toward living room
#15	NW	View of bedroom toward living room
#16	SE	View of bedroom toward bathroom and back of building
#17	SW	View of bedroom toward back corner

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#18	NE	View of bedroom toward living room, closet, and bathroom
#19	SE	View from bathroom door looking toward back of the building
#20	SW	View of finishes and bath toward interior wall and back of building
#21	NE	View of bathroom finishes including toilet and sink
#22	N	View from the farthest end of the parking lot looking toward street
#23	S	View looking into the parking lot from street
#24	S	View of ancillary building (on parcel, but not associated with apartments)

Figures

Include GIS maps, figures, scanned images below.

Evergreen Court Apartments

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Photo 1

Evergreen Court Apartments

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Photo 2



Photo 3

Evergreen Court Apartments

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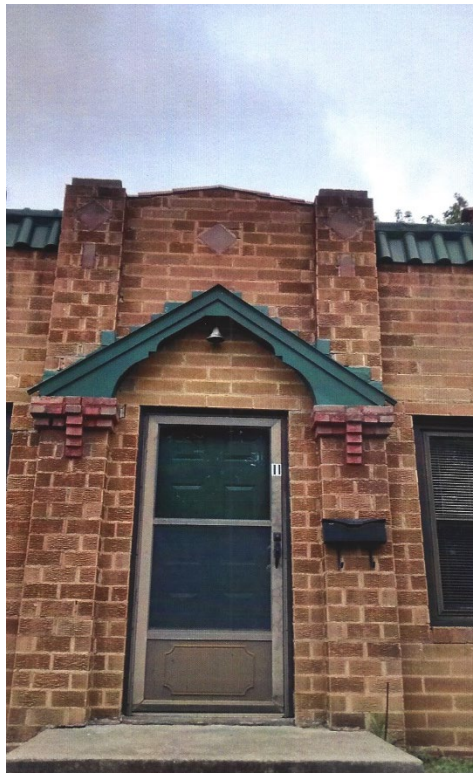


Photo 4



Photo 5

Evergreen Court Apartments

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Photo 6



Photo 7

Evergreen Court Apartments

Name of Property

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Photo 8



Photo 9

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Photo 10



Photo 11

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Photo 12



Photo 13

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Photo 14



Photo 15

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Photo 16



Photo 17

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Photo 18



Photo 19

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Photo 20



Photo 21

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Photo 22



Photo 23

Evergreen Court Apartments

Name of Property

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County and State



Photo 24

Evergreen Court Apartments

Name of Property

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A: 95.7199347, 39.0512246
B: 95.7189409, 39.0512158
C: 95.7189445, 39.0509785
D: 95.7199485, 39.0509800

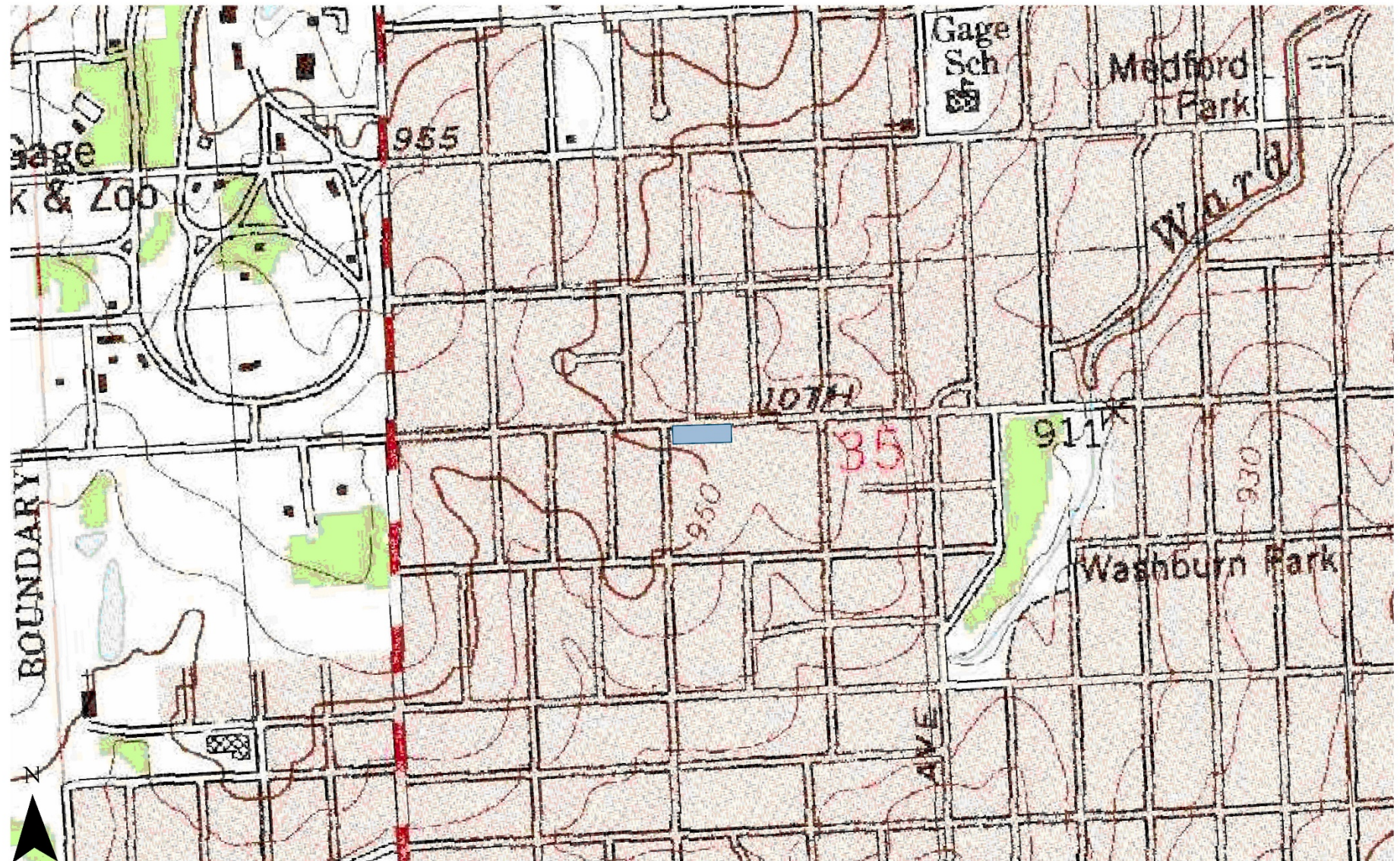
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Evergreen Court Apartments

Name of Property

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0 500 1,000 2,000 Feet

Evergreen Court
Apartments

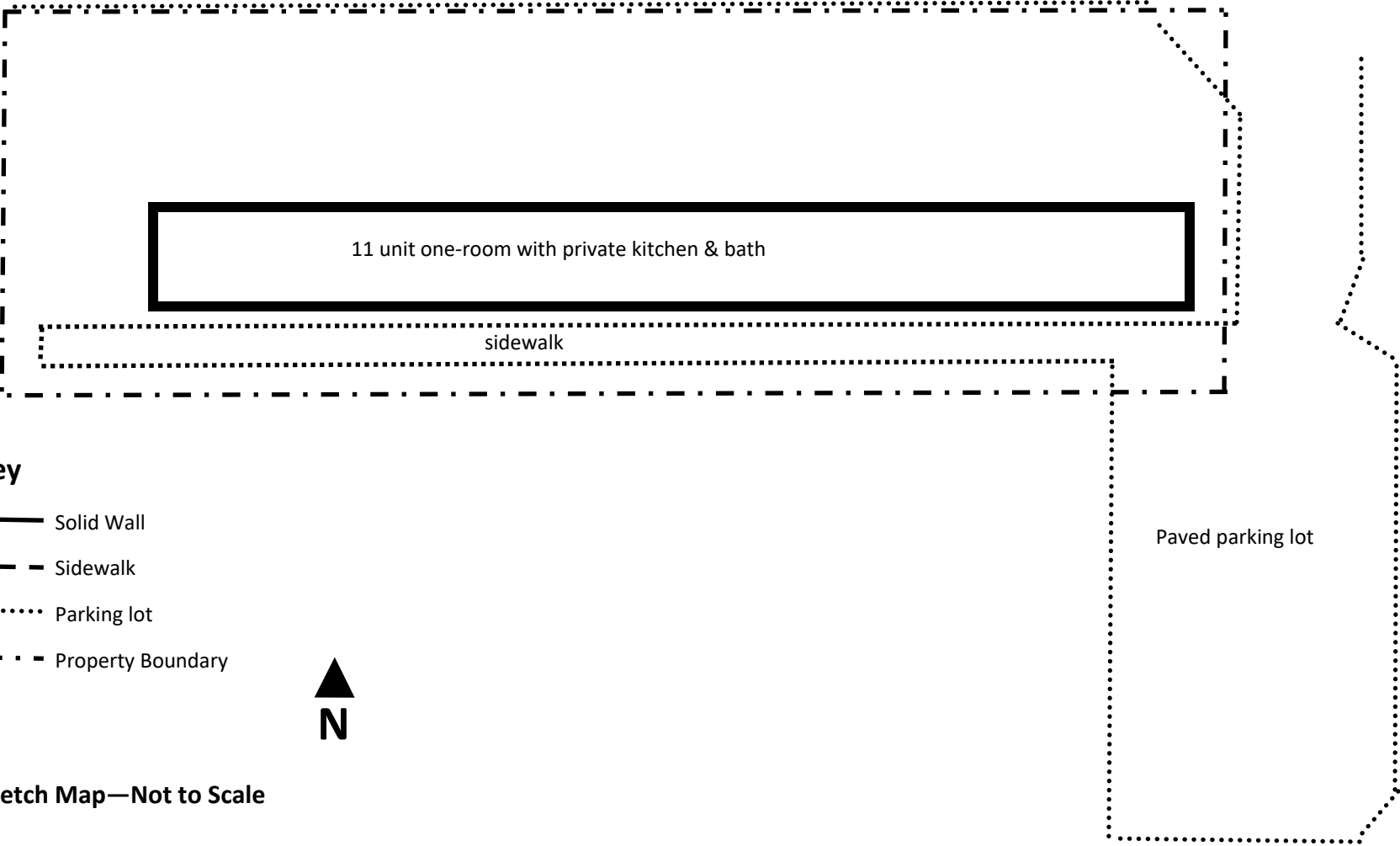
Evergreen Court Apartments

Shawnee County, Kansas

Name of Property

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SW 10th Ave



Key

- Solid Wall
- Sidewalk
- Parking lot
- Property Boundary

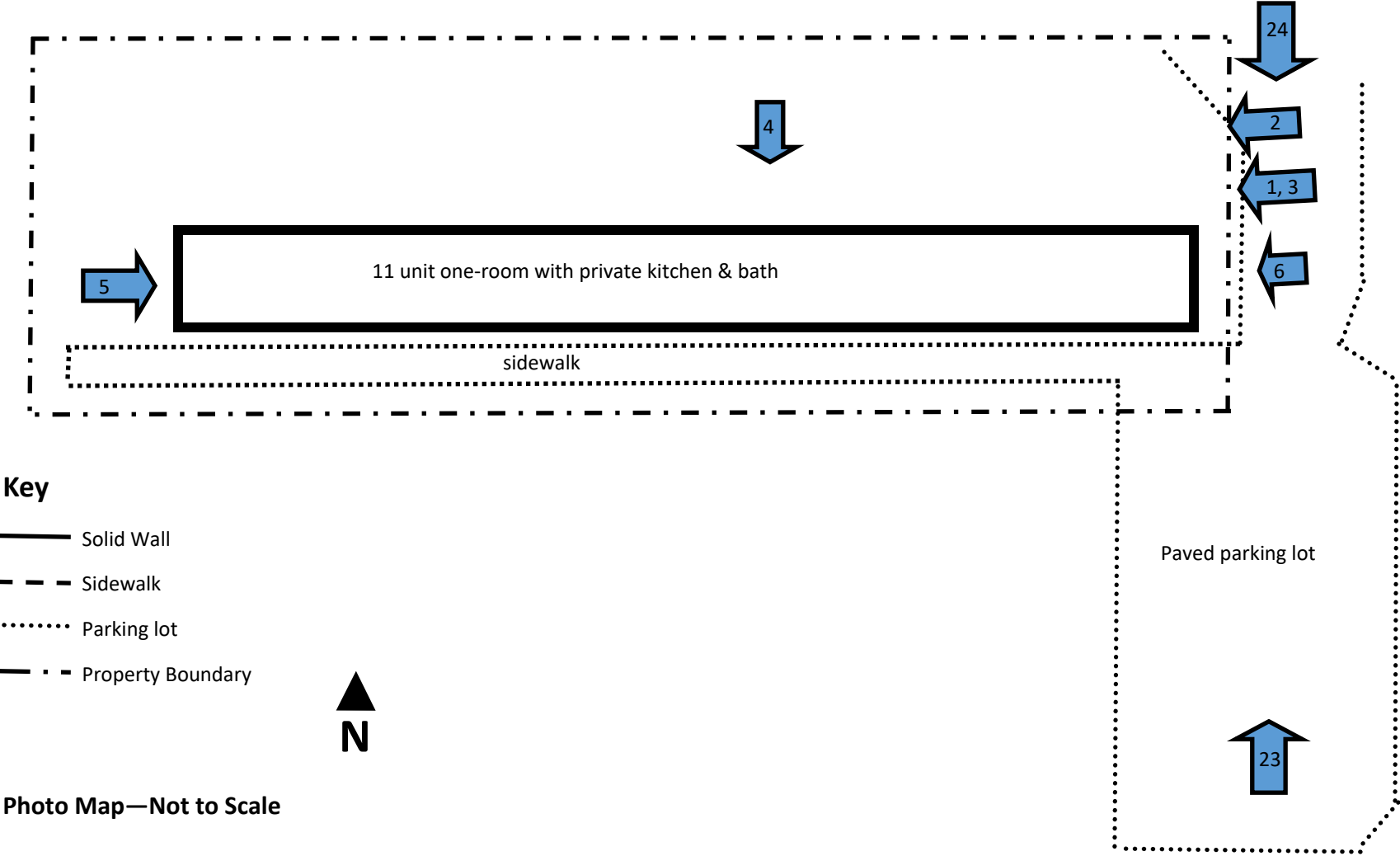
Sketch Map—Not to Scale

Evergreen Court Apartments

Shawnee County, Kansas

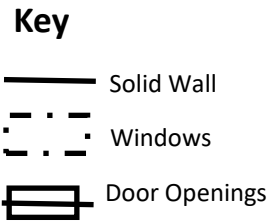
Name of Property

County and State



Shawnee County, Kansas

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Individual Unit Sketch Map

— Not to scale