

# DOWNTOWN

## MASTER PLAN



# Current Gen



# Next Gen



“There is not enough development opportunity to reinvest in all areas of downtown that need reinvestment today”

-Downtown Market Strategy Topeka, KS

Development Strategies (2019)

*Takeaway:*

*Make investments that are carefully targeted and optimally located for increasing chances of success*



## MARKET CONCLUSIONS

### HOUSING

**900**

New Housing  
Units

### RETAIL

**690K**

Supportable  
SF

### OFFICE

**300K**

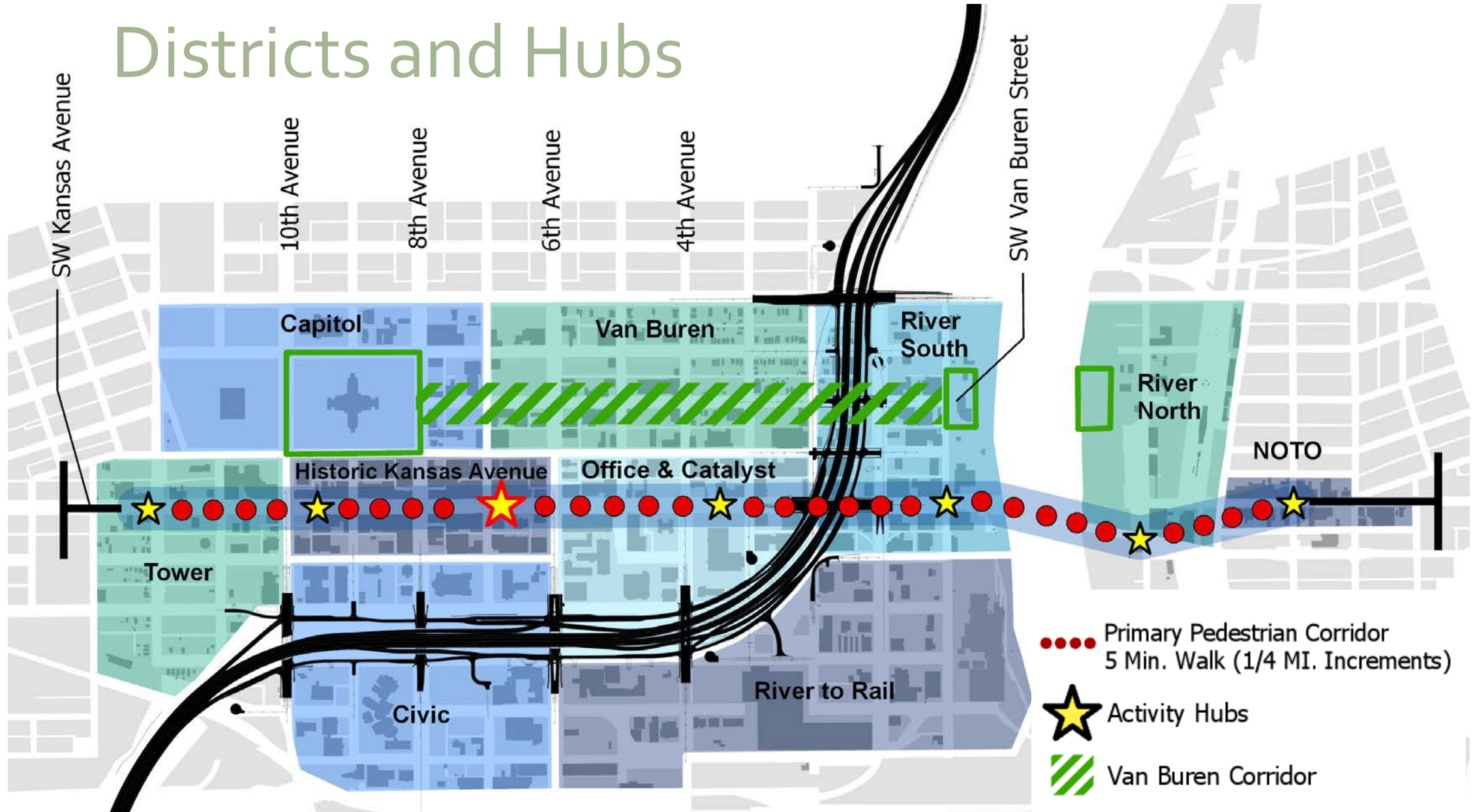
New/Rehabbed  
SF

### HOSPITALITY

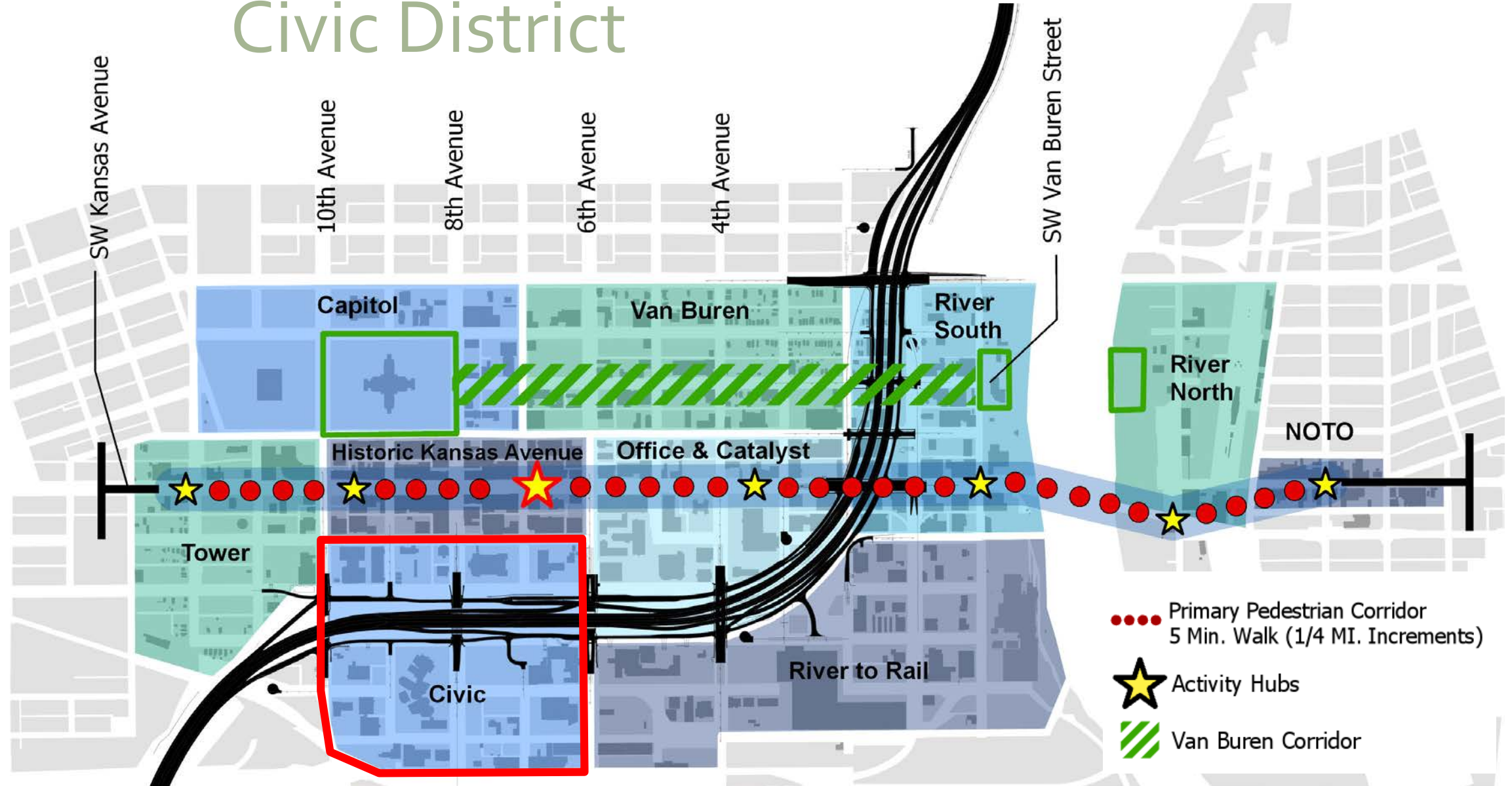
**200**

New Rooms

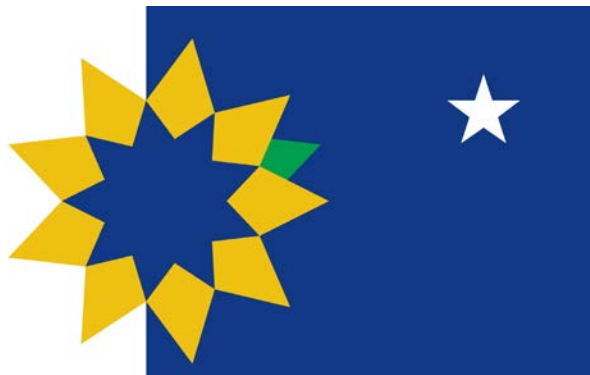
# Districts and Hubs



# Civic District



# District Brand

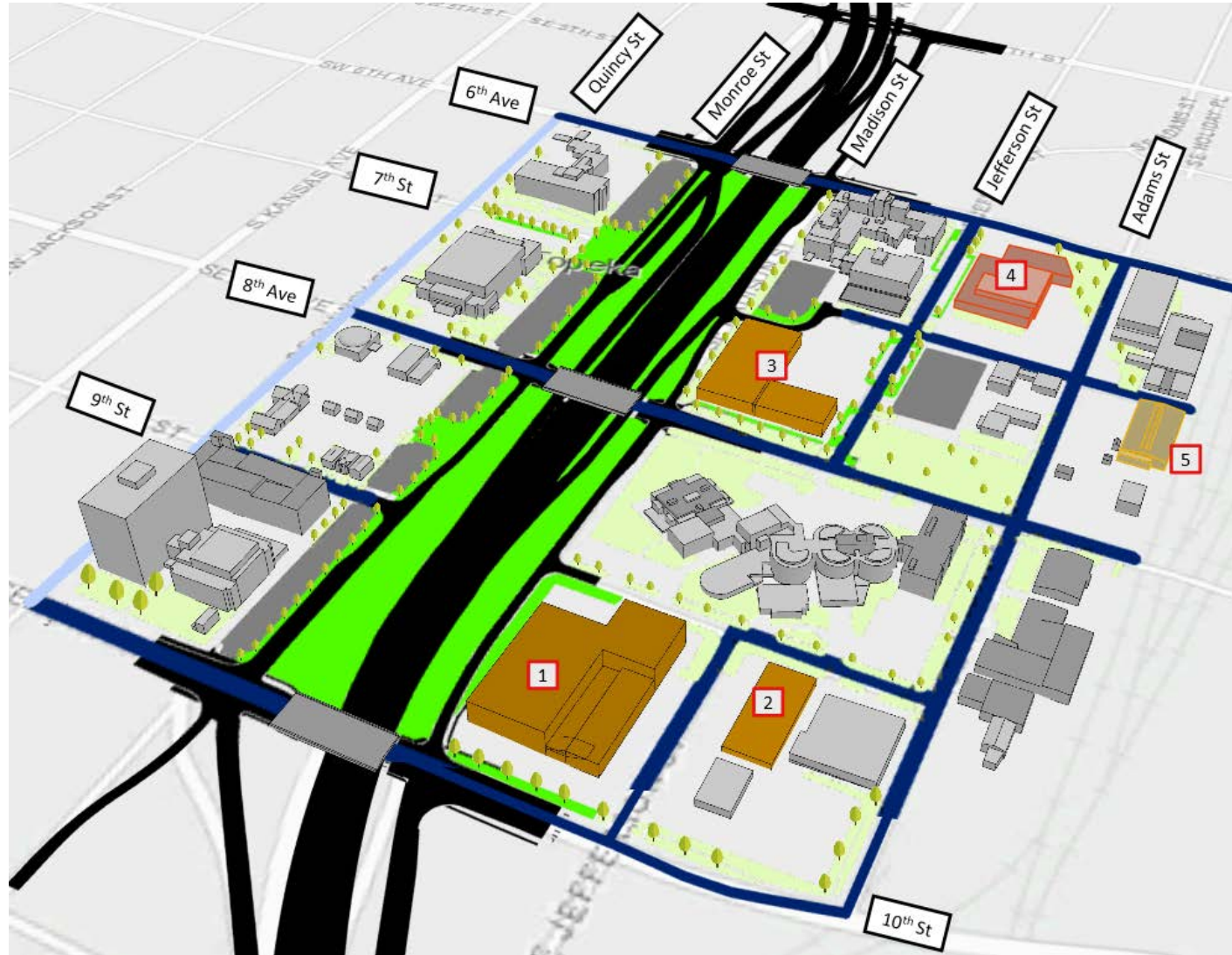


## Civic Local Government Hub

The Civic district will act as the local government “campus” unifying City, County, and Transit headquarters and operations among others. Large surface parking lots provide an opportunity for government office relocation that would enable valuable property along Kansas Avenue and riverfront for catalytic developments. A consolidation of uses would enhance efficient collaboration and partnering among different agencies while providing feasible re-use of marginalized parcels in the shadow of County jail facilities.

- Office and fleet consolidation
- Government Campus
- New construction
- High-quality public building design
- Gateway
- Talent attraction

# Civic (re-location scenario)



- 1 Justice Center
- 2 Fleet Building
- 3 Topeka Metro Transit Authority
- 4 Other Government
- 5 Entertainment Venue

## Road Type

- Conversion
- No Change
- Lane Reallocation
- Quincy/Polk Viaduct
- Public Parking
- Private Parking

## Development

- 1-10 Years
- 10 Years +
- Office Conversion
- Existing
- Greenspace
- Existing
- Proposed

# Justice Center



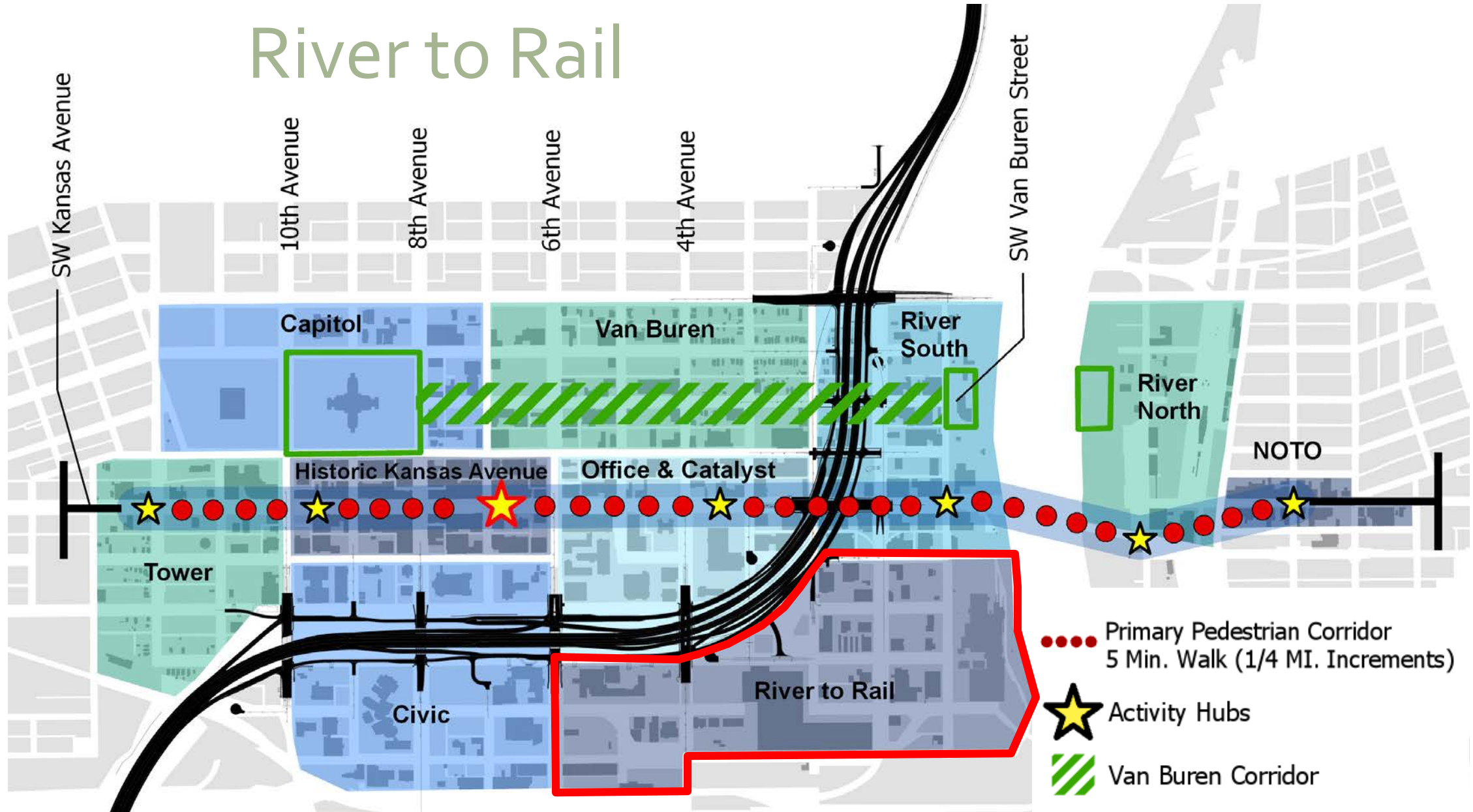
# Topeka Metro Transit Authority



# Civic District – Entertainment Venue



# River to Rail



# District Brand

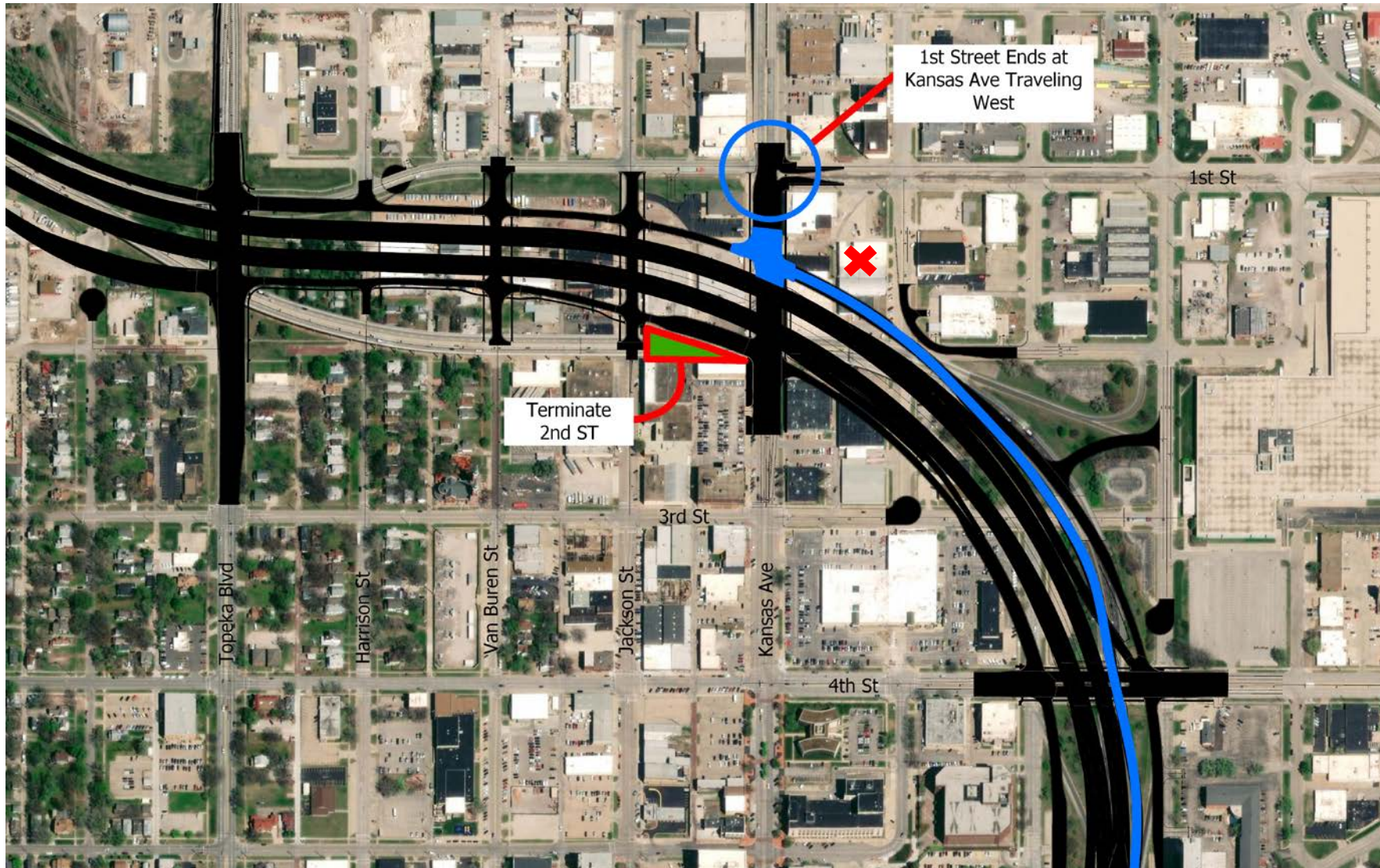


## River to Rail Industry and Re-Use District

Influenced by major industrial footprints such as Hills Pet Nutrition, the former Hallmark building, and BNSF, the River to Rail district is well positioned on Downtown's levee-protected eastern edge to attract more intermediate manufacturing, warehousing, innovation, and heavy service industries between the riverfront and railyards. Sprinkled within this urban renewal-era landscape are a few industrial heritage buildings with adaptive re-use potential that creative entrepreneurs can take advantage of.

- Railroad roots
- Large-scale industry
- Industrial services
- Truck-friendly circulation and highway access
- Urban renewal era character
- Train station
- Few historic conversions

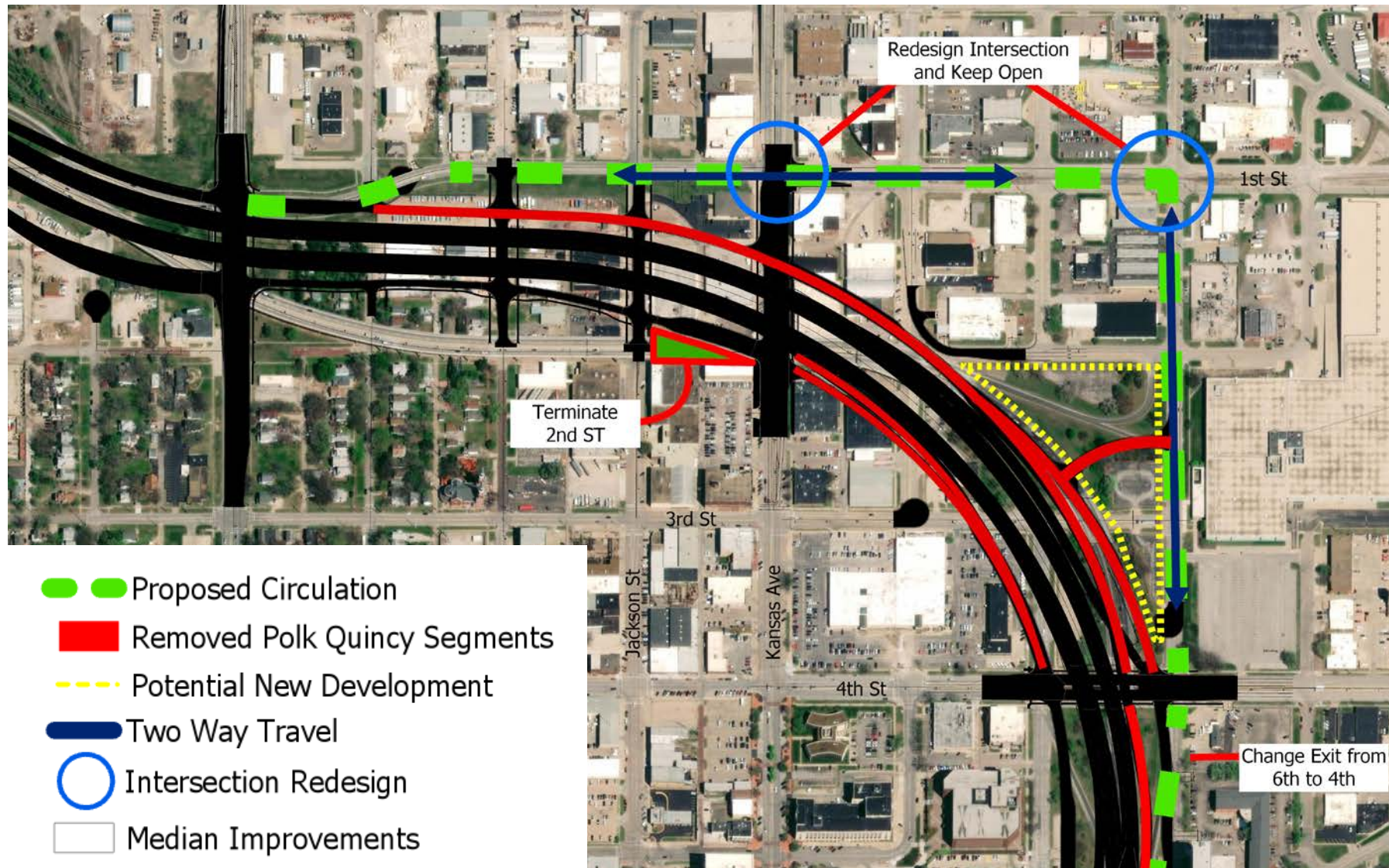
# Polk Quincy Viaduct Future (Current)



## Westbound

- Exits
  - 10th
  - 6th
  - Kansas Ave
- Entrances
  - 4<sup>th</sup>
  - Topeka Blvd
- Access Road
  - 4<sup>th</sup> to Topeka Blvd

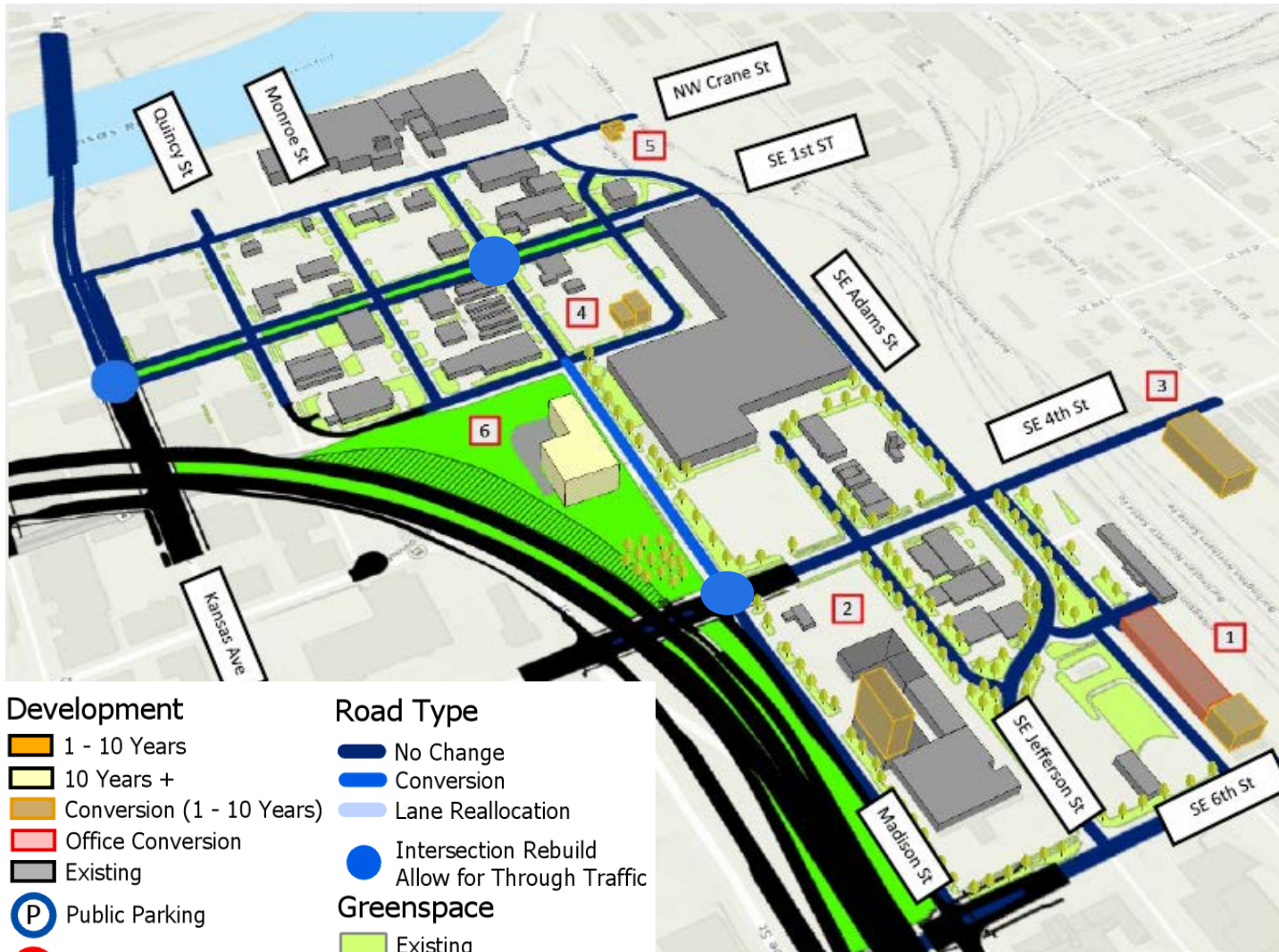
# Polk Quincy Viaduct Future (Alternate)



## Westbound

- Exits
  - 10<sup>th</sup>
  - ~~6<sup>th</sup>~~ 4<sup>th</sup>
  - ~~Kansas Ave~~
- Entrances
  - 4<sup>th</sup>
  - Topeka Blvd

# River to Rail – Potential w/ PQV Alternate



- 1 Mixed Use Rehab
- 2 Residential Rehab
- 3 Mixed Use Rehab
- 4 Mixed Use Rehab
- 5 Distillery
- 6 New Office/GOVT Building/Light Industrial
- Intersection Rebuild

# Adaptive Re-Use



# 1<sup>st</sup> Street Median Improvements



← Before

After



Or



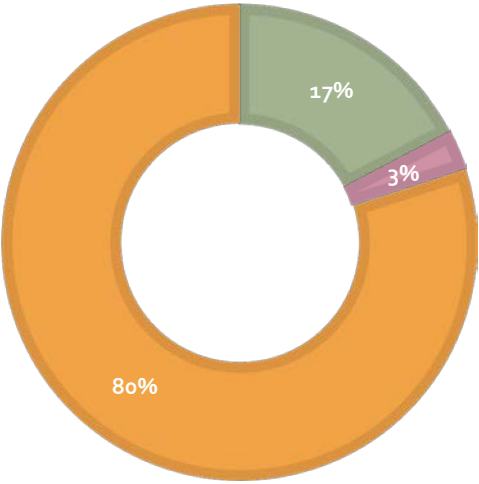
Or



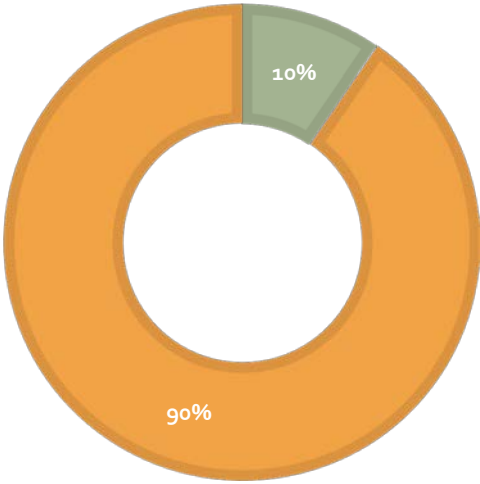
# Meeting the Needs – River to Rail



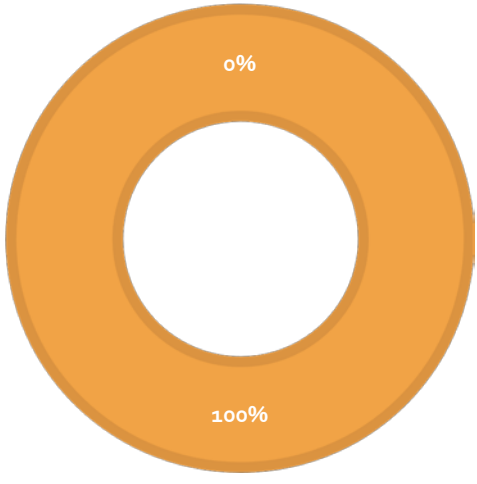
HOUSING



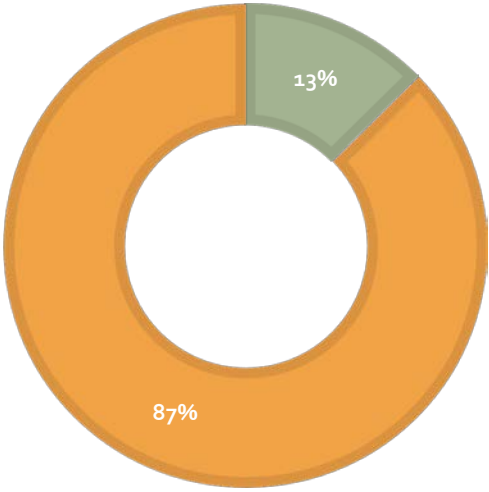
RETAIL



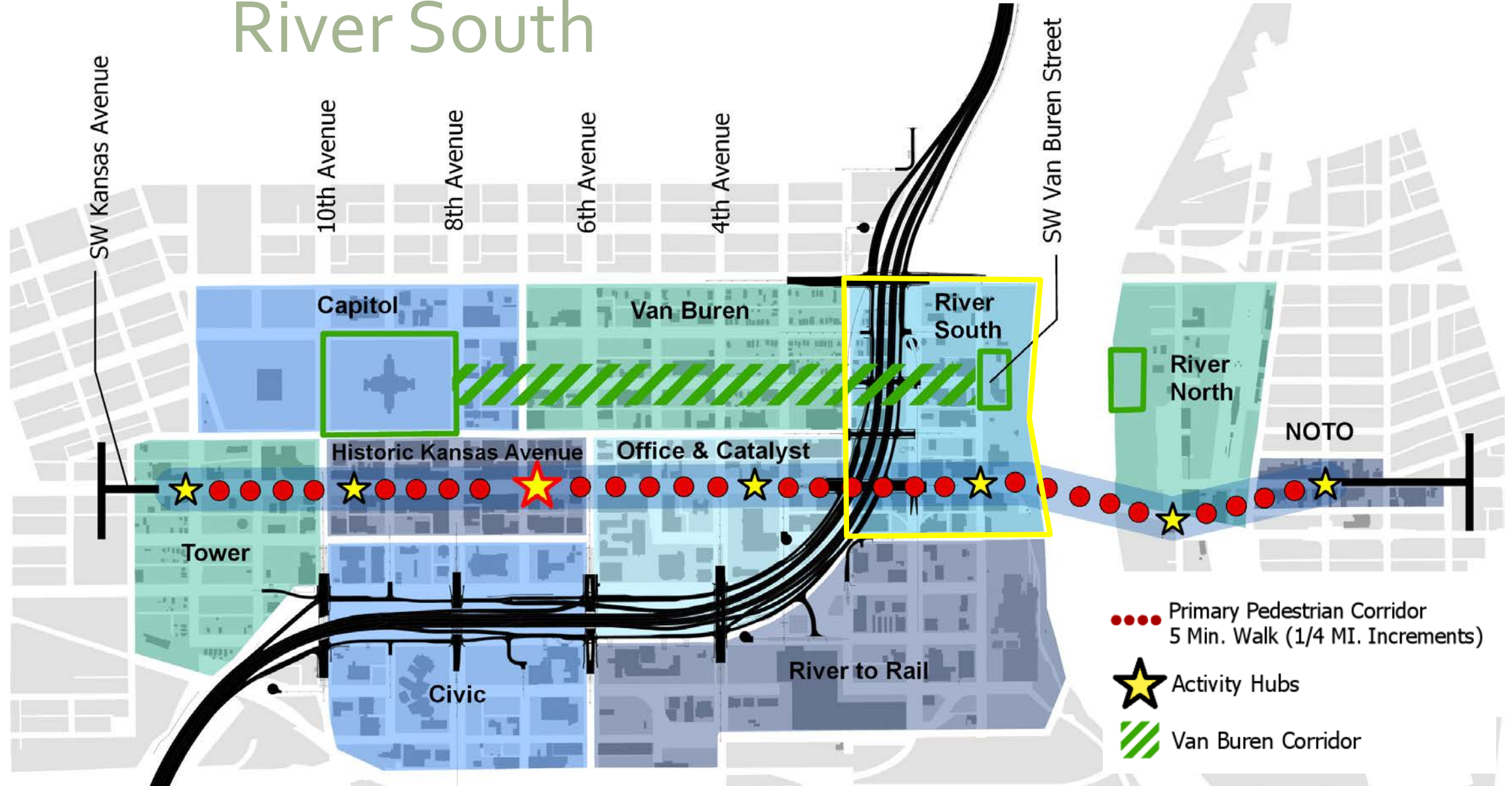
HOTEL ROOMS



OFFICE



# River South



# District Brand



## River South Innovation District

A mix of existing industrial, repurposed buildings, and new buildings along the river within an amenity-rich innovation “campus”. It takes advantage of views to the river, nature, Great Overland Station, and Capitol in a gritty urban walkable setting to accommodate entrepreneurial growth in ag-tech, animal health sciences or other collaborative research. Shared green space, river trail, and bike amenities open up a hidden and important part of Topeka’s history while complimenting the downtown core and NOTO. An updated Polk Quincy Viaduct is a portal for economic development.

- Economic development
- Entrepreneur growth
- River access - overlook and trail
- Eclectic mix of old and new buildings
- Ped friendly with spot housing, food/drink, etc.
- Outdoor events

# Innovation District

Retain the existing character of the River South District, while promoting new infill construction that attracts reinvestment and diversity in the local economy through job creation in tech and innovation.

## Key Ingredients for an Innovation District



### Economic Assets

firms, institutions, and organizations that drive, cultivate or support an innovation-rich environment

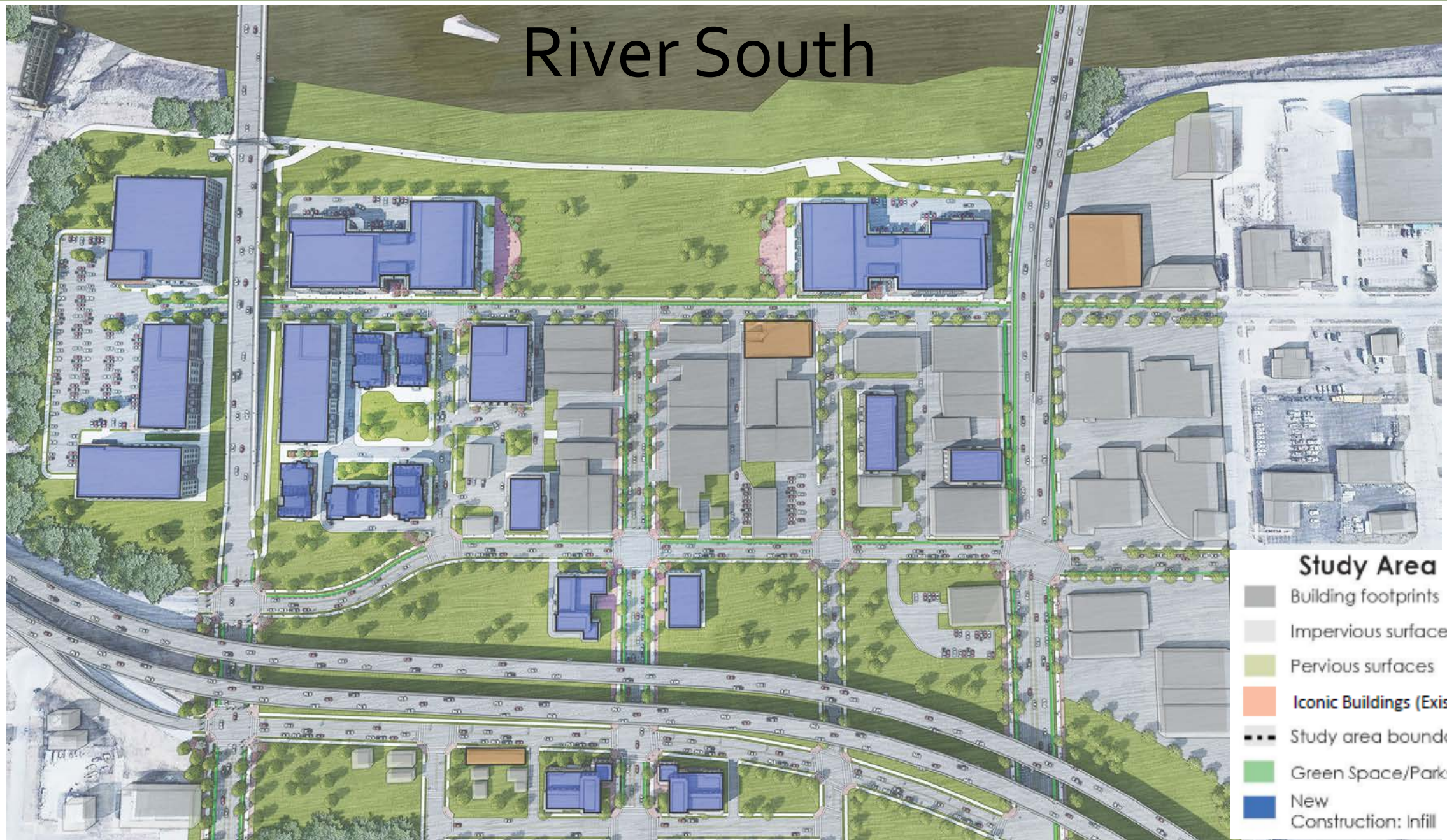
### Physical Assets

publicly and privately owned spaces: buildings, open spaces, streets and other infrastructure—designed to stimulate new and higher levels of connectivity, collaboration, and innovation

### Networking Assets

relationships between individuals, firms and institution that have the potential to generate, sharpen, and/or accelerate the advancement of ideas

# River South



## Study Area

- Building footprints
- Impervious surfaces
- Pervious surfaces
- Iconic Buildings (Exist.)
- Study area boundary
- Green Space/Parks
- New Construction: Infill

Vertical Connection from Pedestrian Walk  
on Bridge to Trail on Levee

Iconic Civic Element at Intersection of  
Two Centerlines

Platform extension extends to river  
allowing views upstream and downstream

Flood Walls and Gates Utilized  
to Create Physical and Visual  
Connection to River and Across the  
Innovation District

Trail Connections from Top of  
Levee to Lower Pedestrian Areas

Existing Trail on Levee

Existing Trail on Levee

Service

Rooftop  
Terrace

Flexible Lawn  
Panels Allow  
For a Variety  
of Use

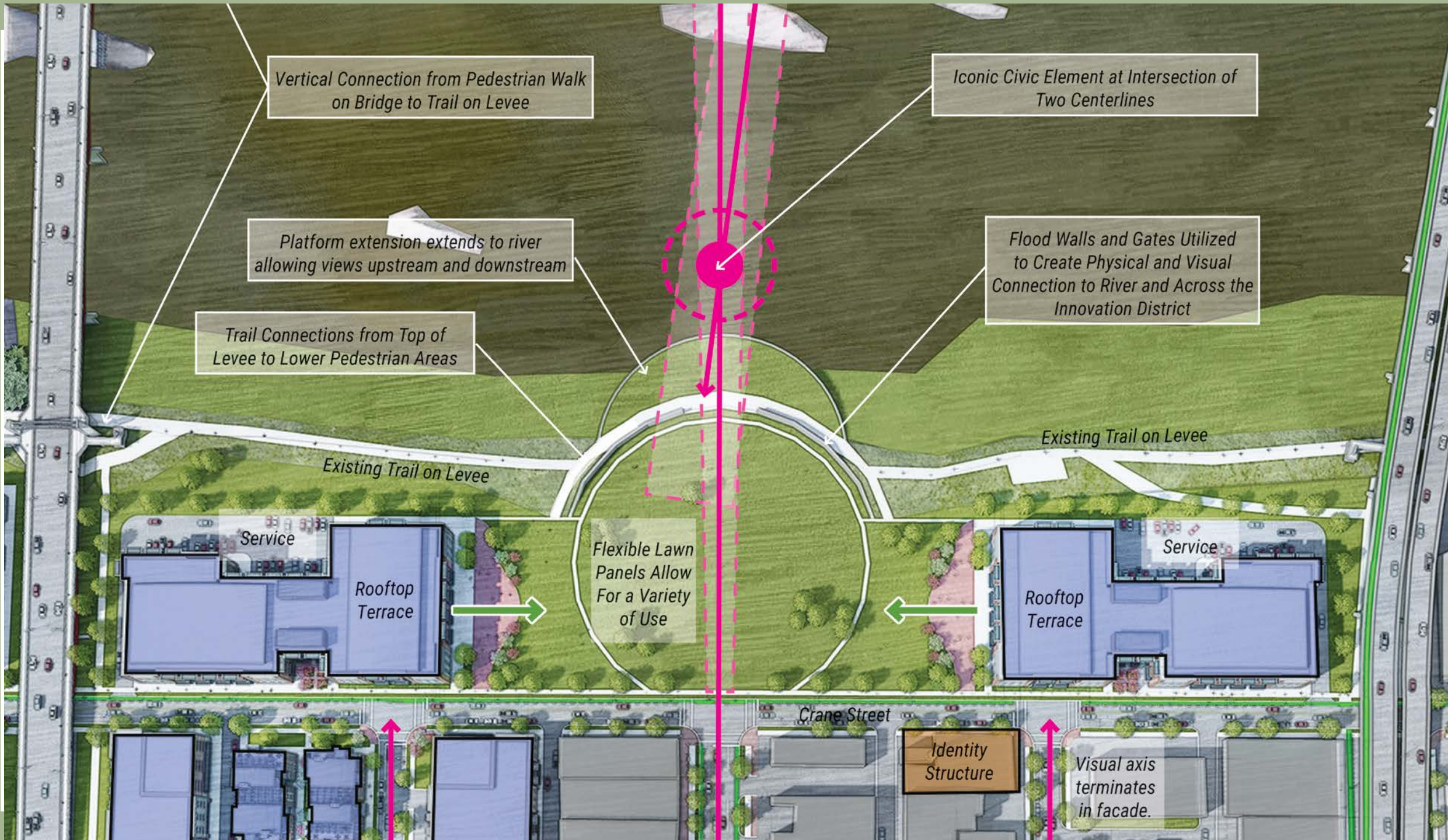
Service

Rooftop  
Terrace

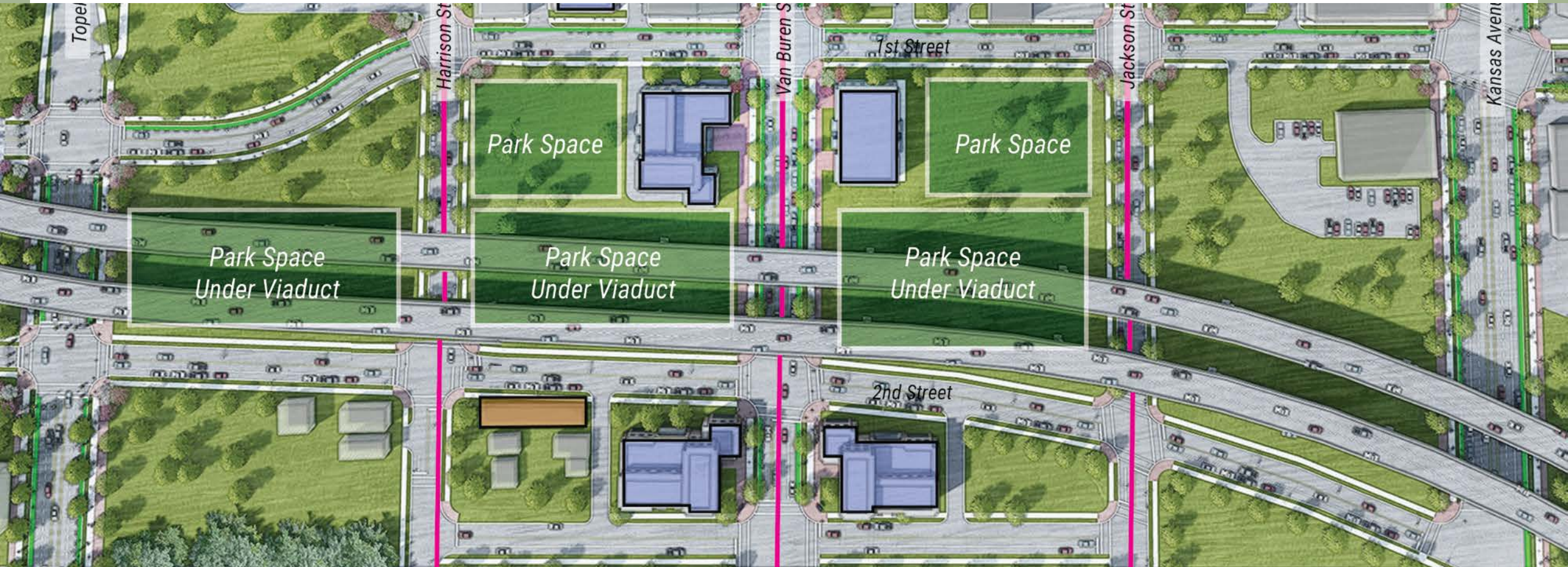
Crane Street

Identity  
Structure

Visual axis  
terminates  
in facade.



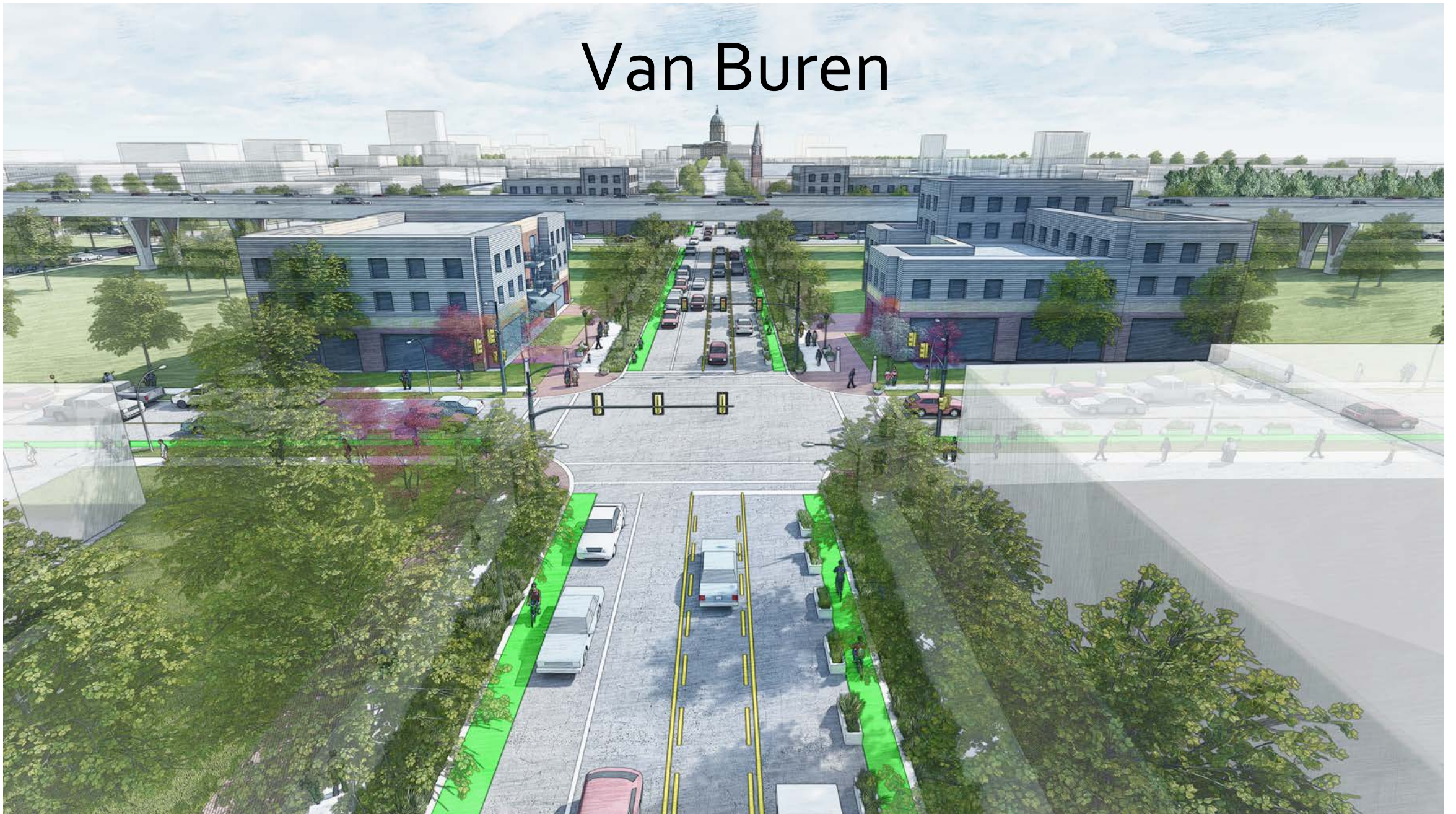
# PQV space



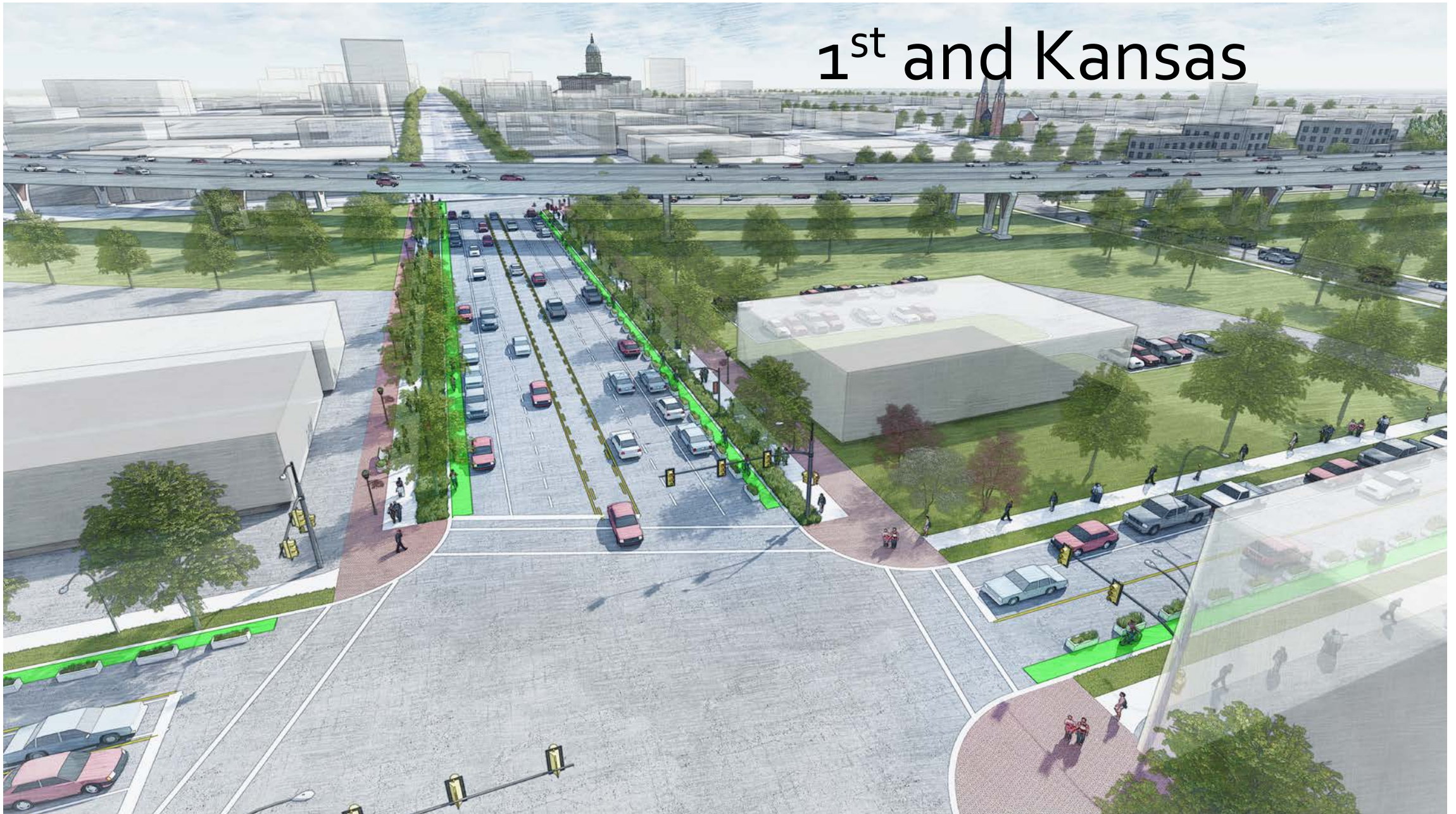




# Van Buren



# 1<sup>st</sup> and Kansas



# River South

[www.topeka.org/planning/river-south-district/](http://www.topeka.org/planning/river-south-district/)



Keep “Gritty” Feel  
by combining:

- Housing
- Industrial Uses
- Rehabilitation for new technology
- Food/Drink support

# DOWNTOWN

## MASTER PLAN

